

KILCOCK COMMUNITY CENTRE

DESIGN STATEMENT REPORT

11th July 2019

FOR: KILDARE COUNTY COUNCIL



The design team for the Masterplan of Kilcock Community Centre is composed of:

CLIENT
(the Applicant)



CooneyArchitects

DESIGN TEAM LEAD ARCHITECTS

QUANTITY SURVEYOR



STRUCTURAL & CIVIL ENGINEERS
TRAFFIC
FLOODING
PSDP



MECHANICAL & ELECTRICAL ENGINEERS



MEASURED SURVEYOR



ECOLOGIST



FIRE/ DAC SPECIALIST



CooneyArchitects



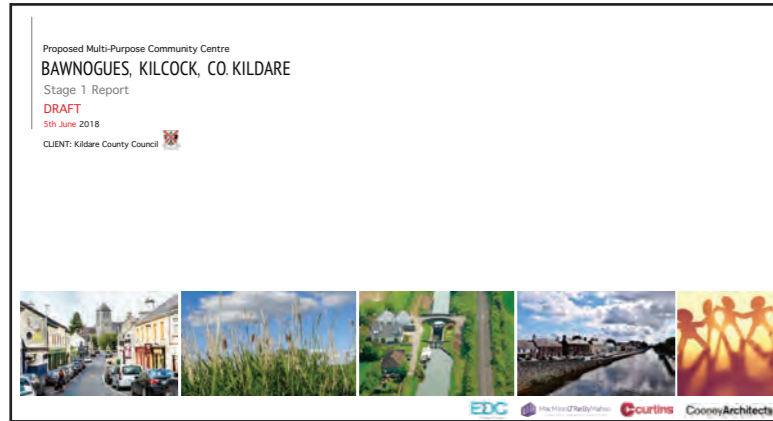
MacMinnO'ReillyMahon
CHARTERED QUANTITY SURVEYORS



APEX
SURVEYS



PREVIOUS REPORTS PREPARED BY COONEY ARCHITECTS



STAGE 1 REPORT BROCHURE 1

June 2018

Site Analysis
Maps
Design Concept
Sketch Design



STAGE 1 REPORT BROCHURE 2

October 2018

Design Concept
Sketch Design



STAGE 1 REPORT BROCHURE ADDENDUM INFORMATION 1

November 2018

Sketch option



STAGE 1 REPORT BROCHURE ADDENDUM INFORMATION 2

November 2018

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01 INTRODUCTION/OUTLINE



Diagram of Kilcock (Bawnogues outlines in Red)

SITE SELECTION PROCESS

A study was undertaken in October 2012, to establish a suitable site in the town of Kilcock for development of a multipurpose community and sports facility. A number of potential sites were identified. 12 locations were initially proposed. Potential sites were evaluated under the headings of location, size, ownership, buildability, resourcing, and sustainability.

The proposed site was identified as the preferred option, one of its main advantages being that it could serve a wide range of sporting and community needs on the same site, and could retain the potential for expansion if required in the future.

Current Client Brief
Schedule of accommodation
Total floor area: 749 sqm

Description	Details
Kitchen	Prep. Kitchen only
Multi-purpose hall	Sports & Drama use 220 seats & temporary stage for drama Height 7-9 m Size 28X15m
Changing room	Changing villages/Toilet 4m high
Shower room	
Multi-purpose meeting room	Flexible 4m high
Youth space for teenagers	WIFI Zone
Green room	8 person can use together
Car parking	42
Cycle parking	24
External bin store	29 sqm

Ancillary Accommodation

- Vertical circulation
- Storage (6-7% of total floor areas)
- Entrance/Reception/Foyer
- Plant Room
- Electrical Room
- Playground

Description of Proposed Development

Erection of a two-storey community centre building with mezzanine, comprising a dual use indoor multi-purpose hall, stage and performance area, a range of meeting and conference rooms, wet and dry changing room facilities for indoor and outdoor associated sports and community uses, associated plant, storage, circulation areas, kitchen/café area and an upper floor multi-purpose room with projection room. The proposed building will be set within a landscaped area providing for a sensory garden, a civic plaza area, all with associated surface car parking of 4 no. car parking spaces, and 20 no. cycle parking spaces, bus/set down area, overflow car parking, bin stores, external signages, pedestrian linkages, connection to existing site services and development works, boundary and landscaping treatments. Existing playground to be relocated to provide new supervised playground.



02

SITE CONTEXT



Photo 1



Photo 2



Photo 3

BAWNOGUES

The site for the proposed Community Centre is on "The Bawnogues" to the southwest of Kilcock Town Centre. The site is currently open grassland.

There are some sporting facilities located on the Bawnogues, adjacent to the applicant site.

Erection of a two-storey community centre building with mezzanine, comprising a dual use indoor multi-purpose hall, stage and performance area, a range of meeting and conference rooms, wet and dry changing room facilities for indoor and outdoor associated sports and community uses, associated plant, storage, circulation areas, kitchen/café area and an upper floor multi-purpose room with projection room. The proposed building will be set within a landscaped area providing for a sensory garden, a civic plaza area, all with associated surface car parking of 4 no. car parking spaces, and 20 no. cycle parking spaces, bus/set down area, overflow car parking, bin stores, external signages, pedestrian linkages, connection to existing site services and development works, boundary and landscaping treatments. Existing playground to be relocated to provide new supervised playground.

There is a playground located on the subject site. It is proposed to relocate the playground within the subject development as part of this application. Additional area will be made available within the development to increase the area of the playground.

EXISTING CONTEXT

Scoil Uí Riada is situated to the north east side of Brayton Park, to the North of the subject site.

To the north of Scoil Uí Riada is Brayton Park, an extensive residential development.

Recent residential development in Kilcock has tended to be in the area to the east of the site, between the traditional town centre, and the M4 motorway.

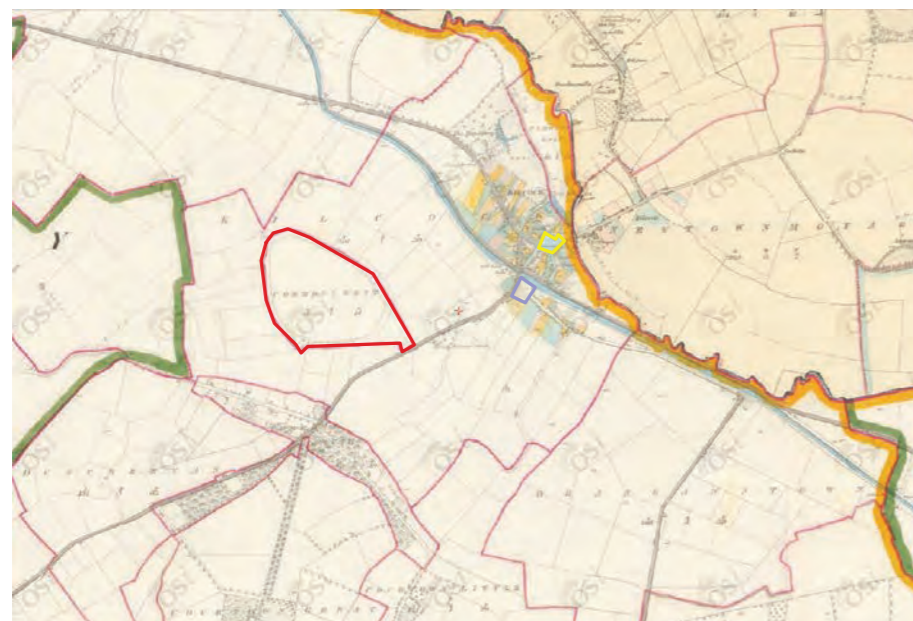
PHOTOGRAPHIC REFERENCES

Photo 1: View across site showing existing playground

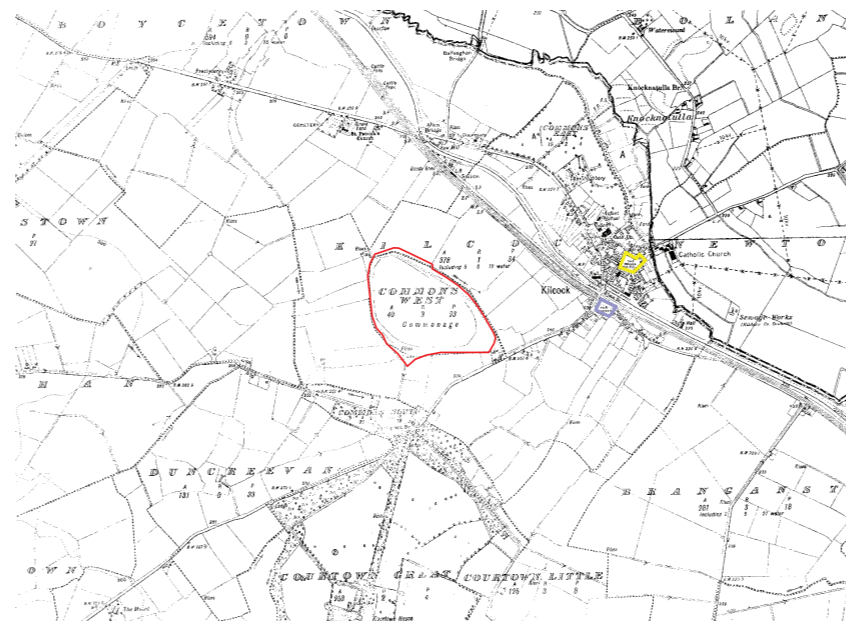
Photo 2: Existing Track towards Soccer Temporary Facilities

Photo 3: View across Brayton Park to Scoil Uí Riada

HISTORICAL EVOLUTION



First Edition 6" 1834-1846



First Edition 25" 1913



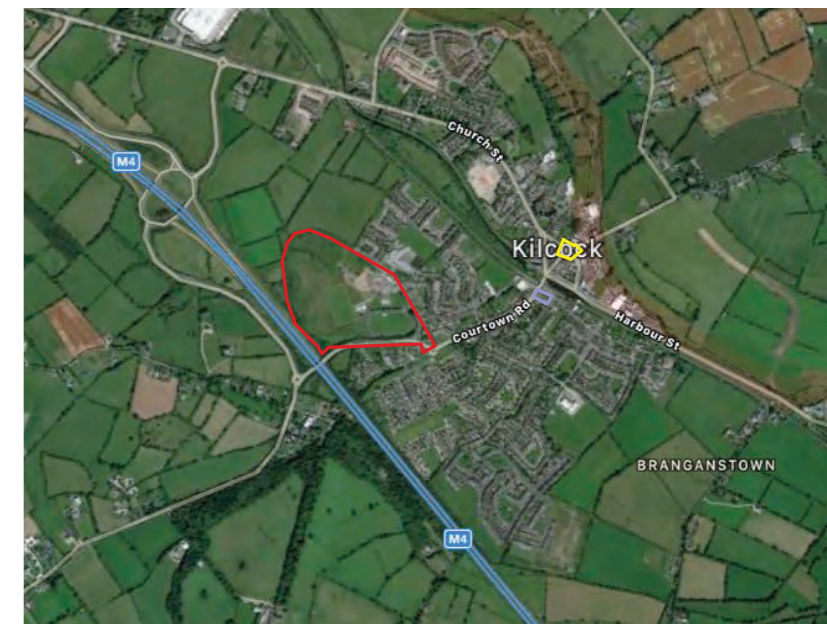
1995



2000



2005

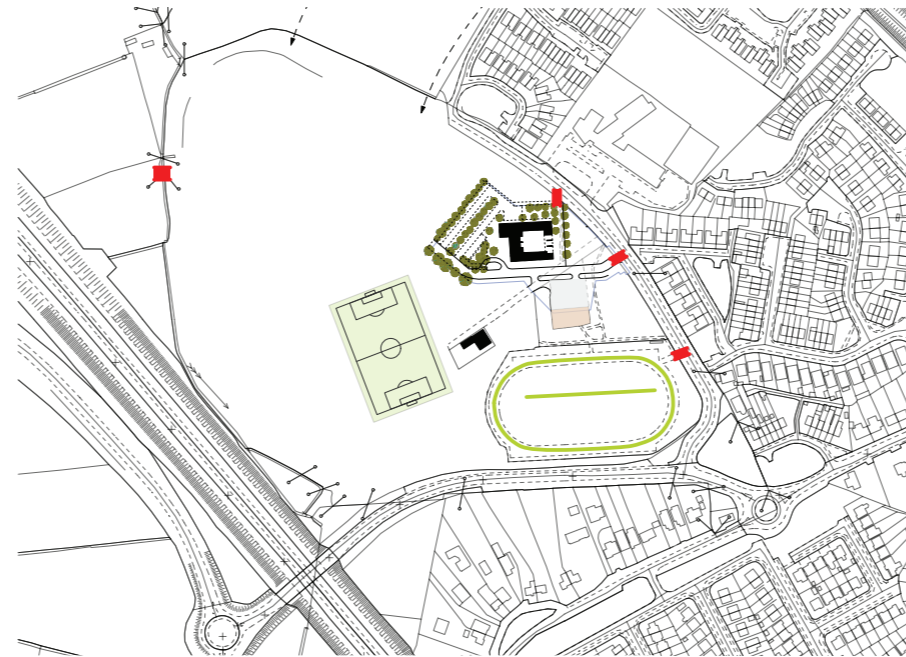


2017



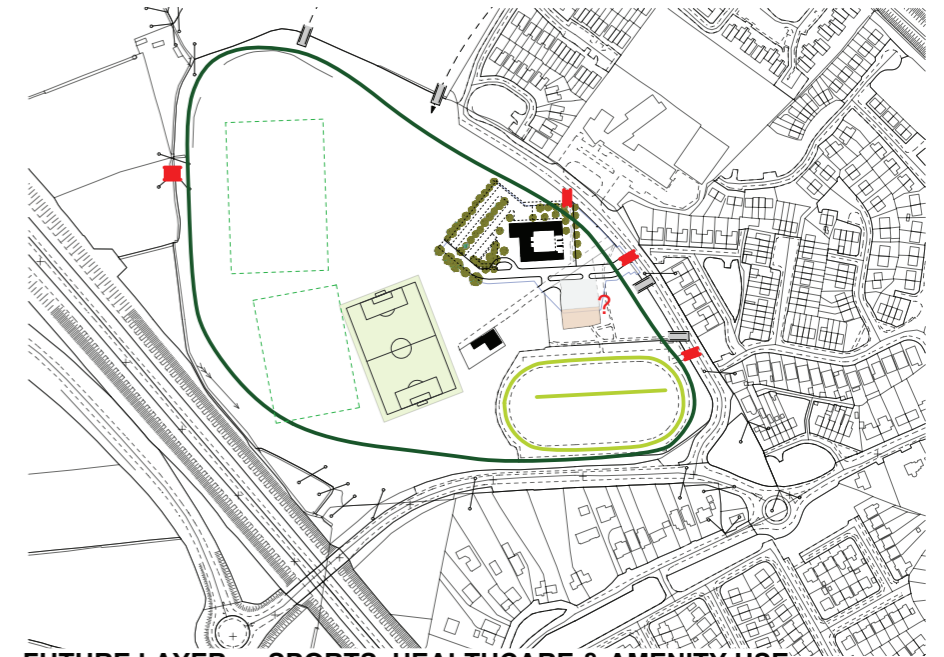
HISTORIC LAYER --- RACE TRACK

- RACE TRACK



CURRENT LAYER --- SPORTS & HEALTHCARE USE

- PRIMARY CARE
- PREFAB FOOTBALL CLUB
- ONE PITCH
- PLAYGROUND
- CAR PARKING
- EXISTING ACCESS



FUTURE LAYER --- SPORTS, HEALTHCARE & AMENITY USE

- PRIMARY CARE
- PREFAB FOOTBALL CLUB
- PITCH
- PROPOSED COMMUNITY CENTRE
- PLAYGROUND
- CAR PARKING
- INDICATIVE RESIDENTIAL HOUSE ACCORDING TO KILCOCK DEVELOPMENT PLAN
- FUTURE ACCESS

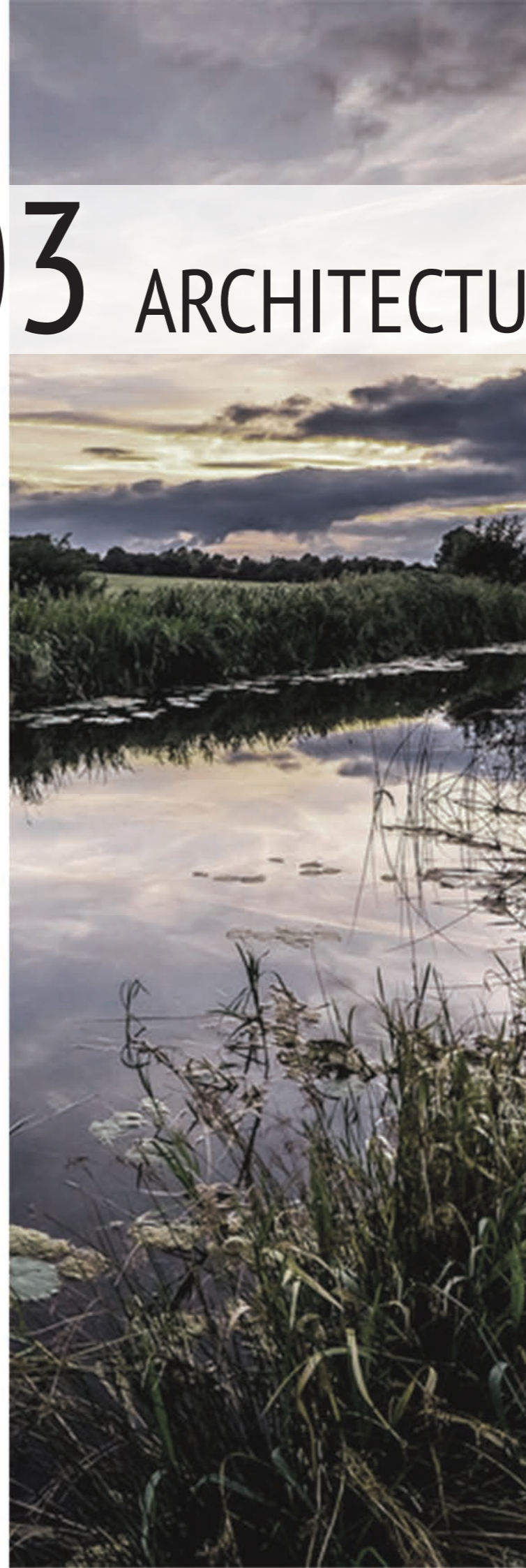
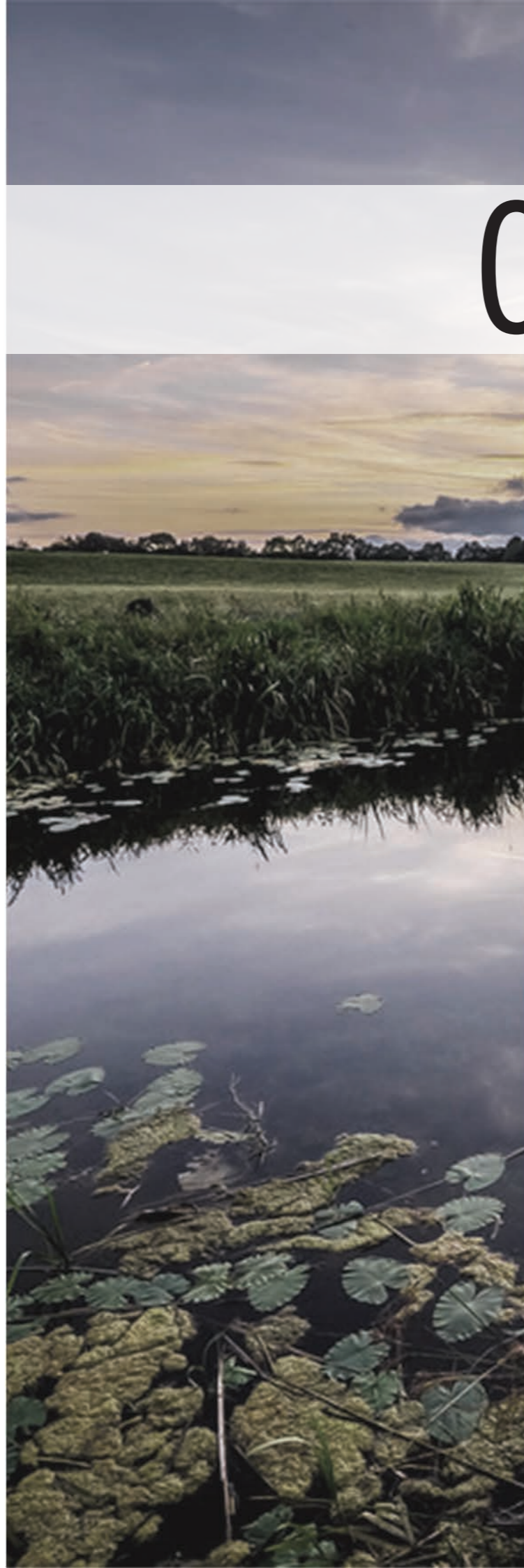
EXISTING SITE PHOTOS 2018
PRIMARY CARE

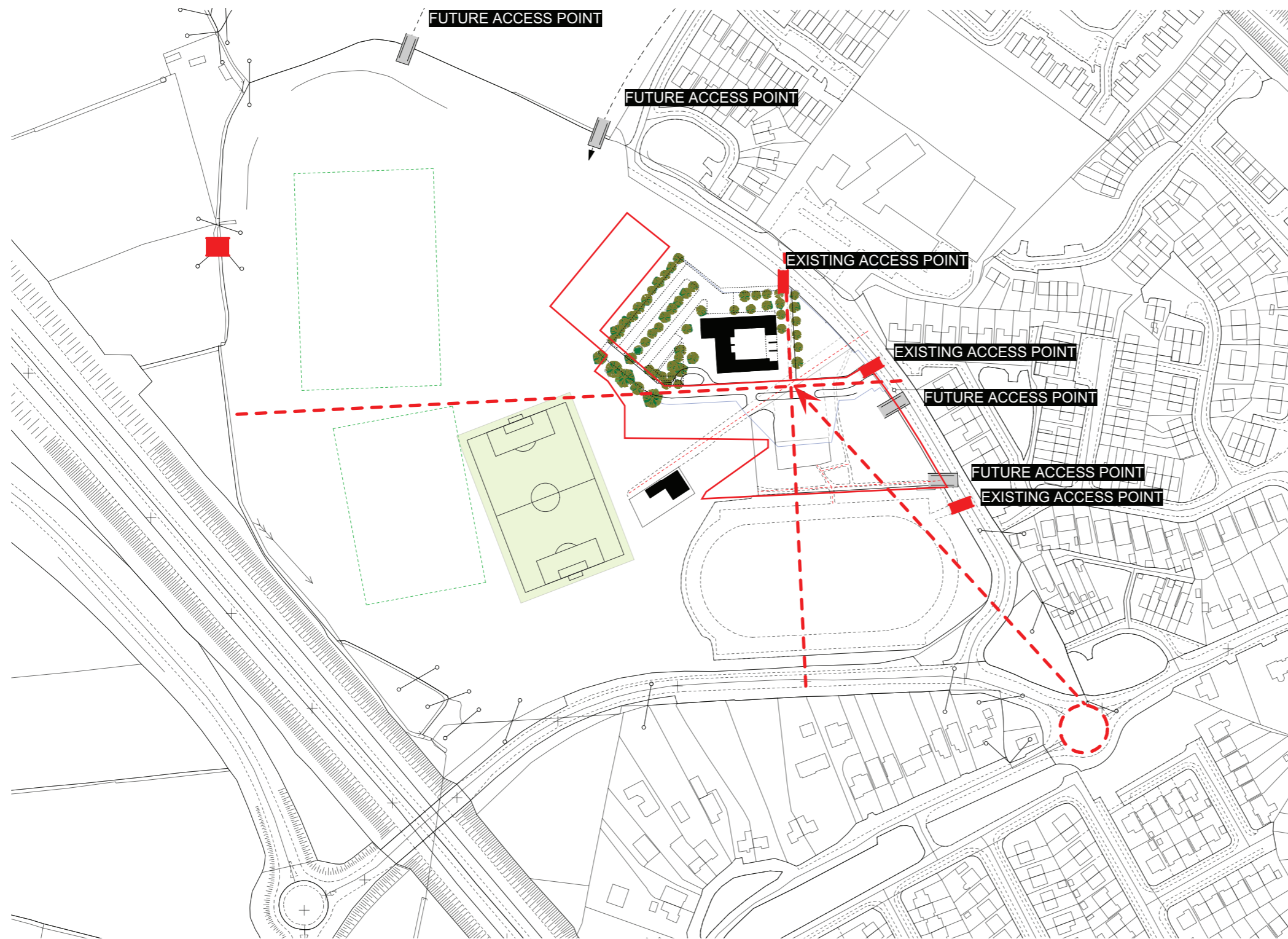


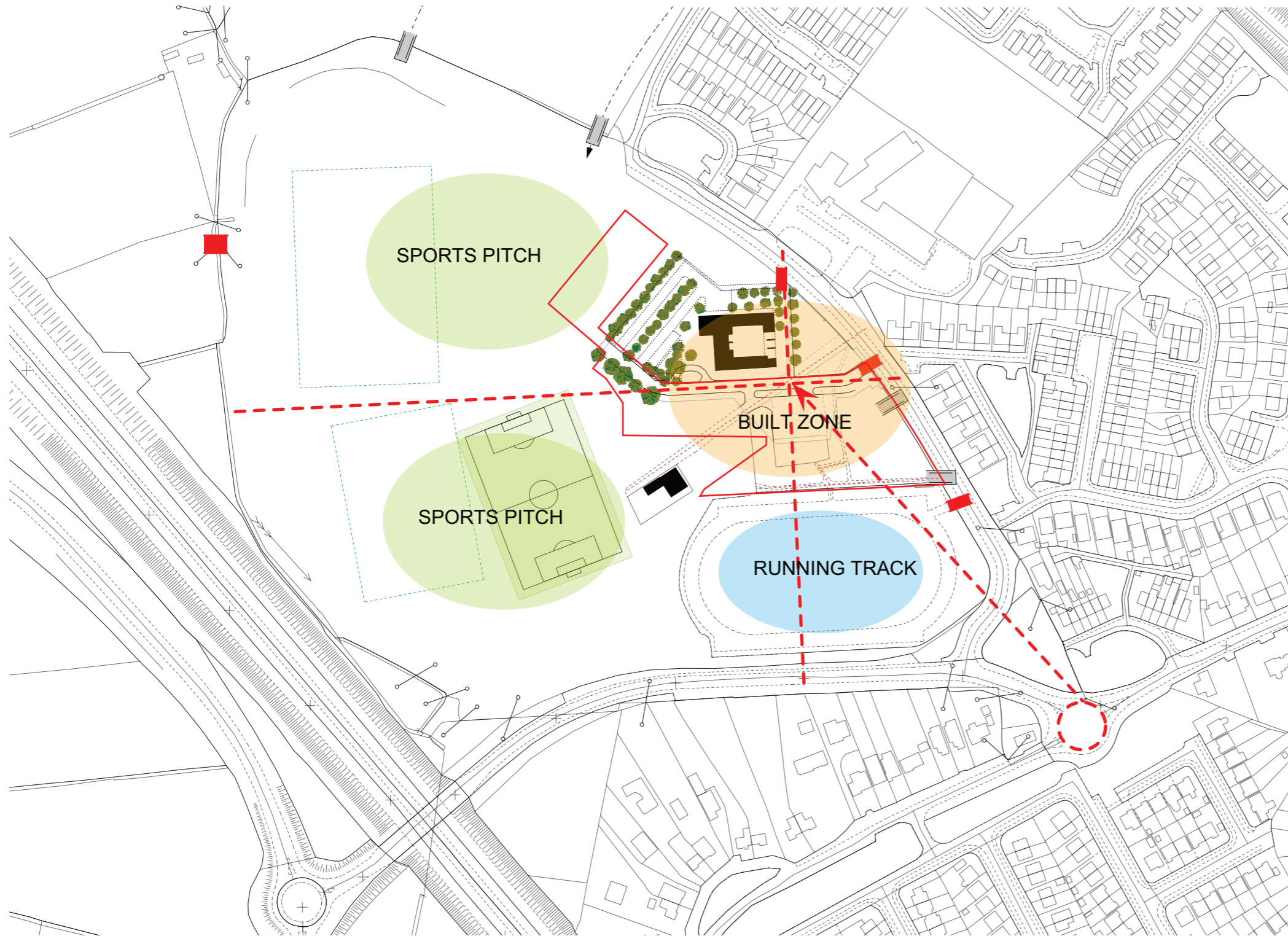
EXISTING SITE PHOTOS 2018
PRIMARY CARE

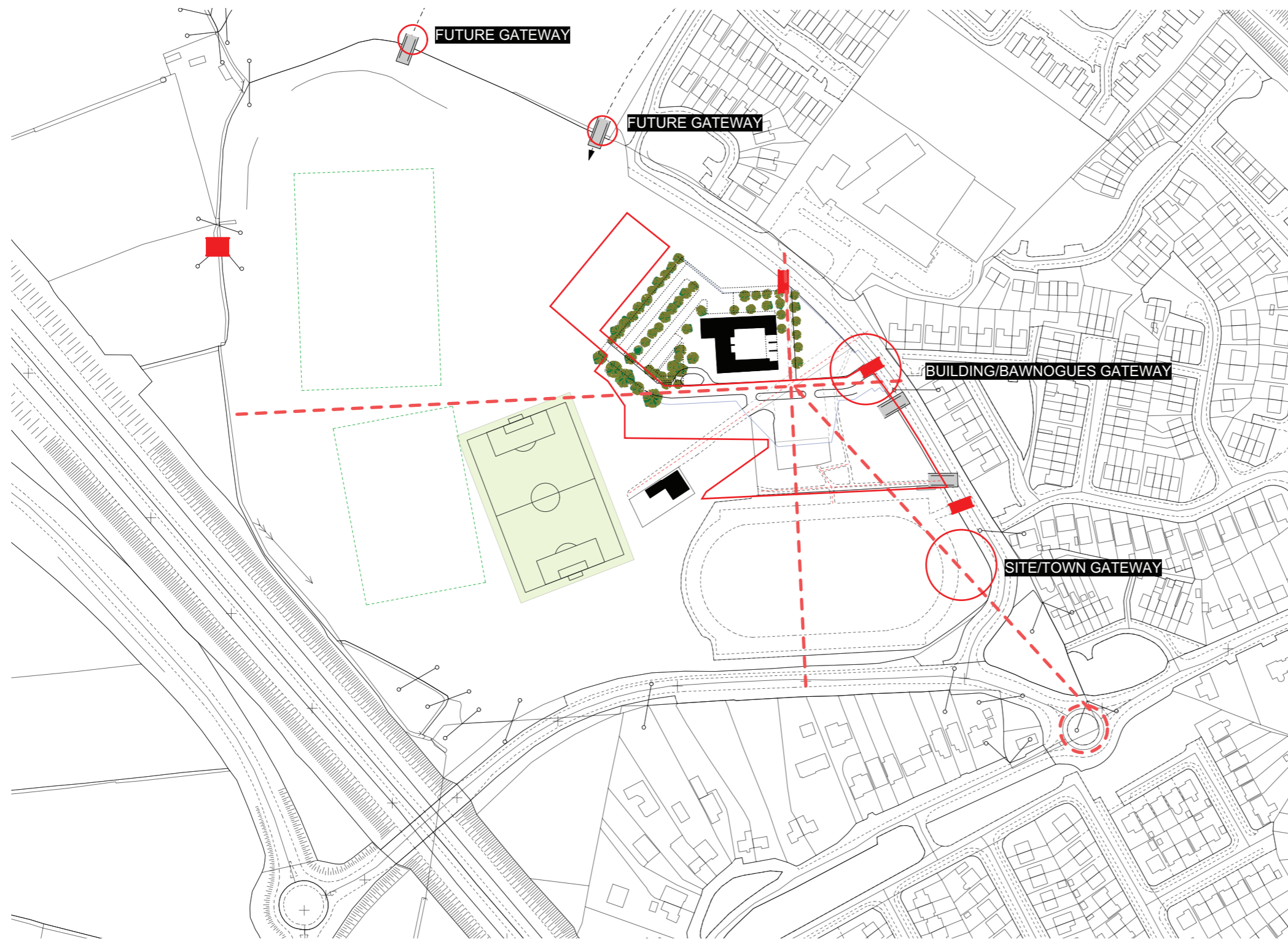


03 ARCHITECTURAL STATEMENT

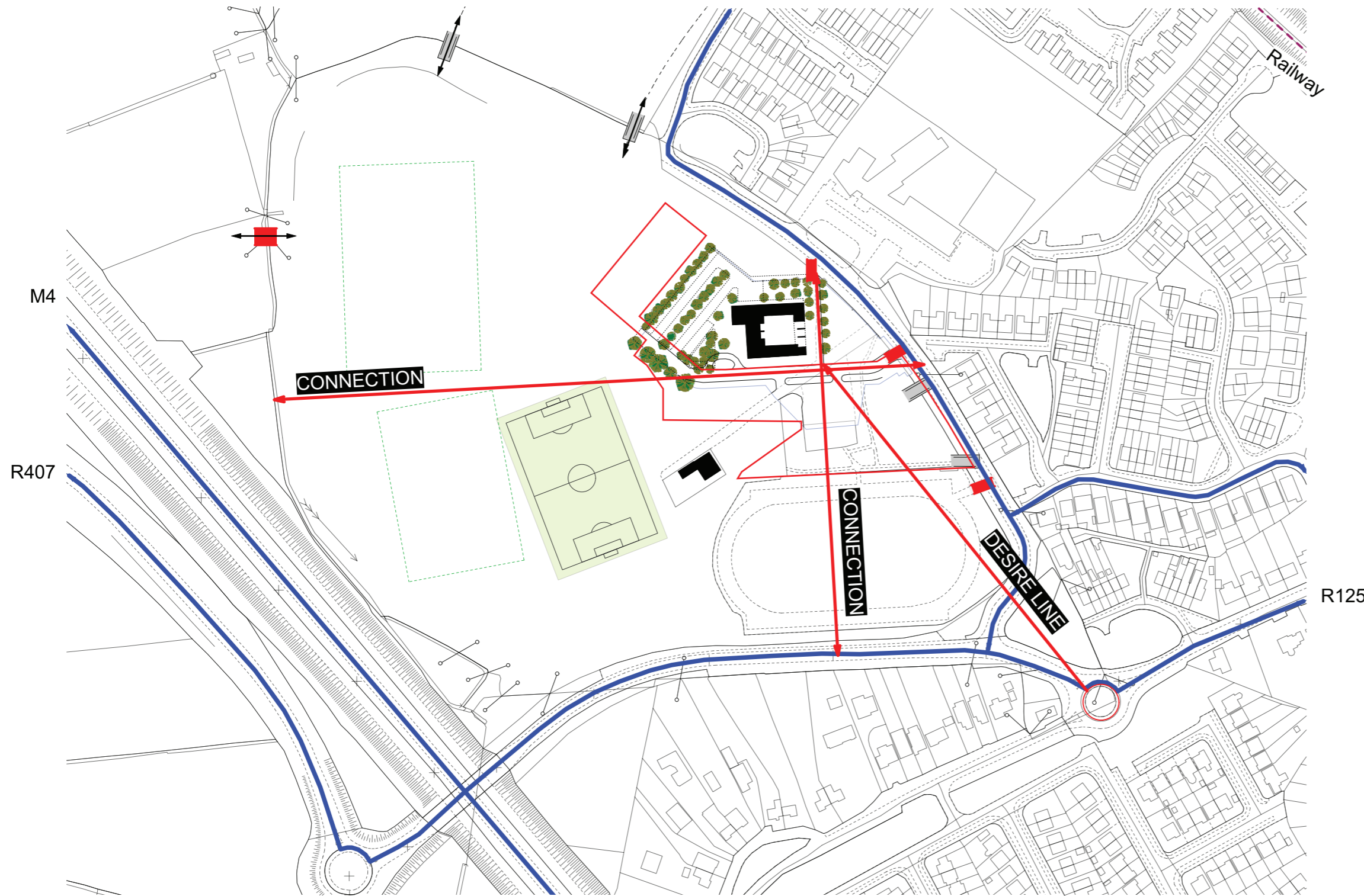




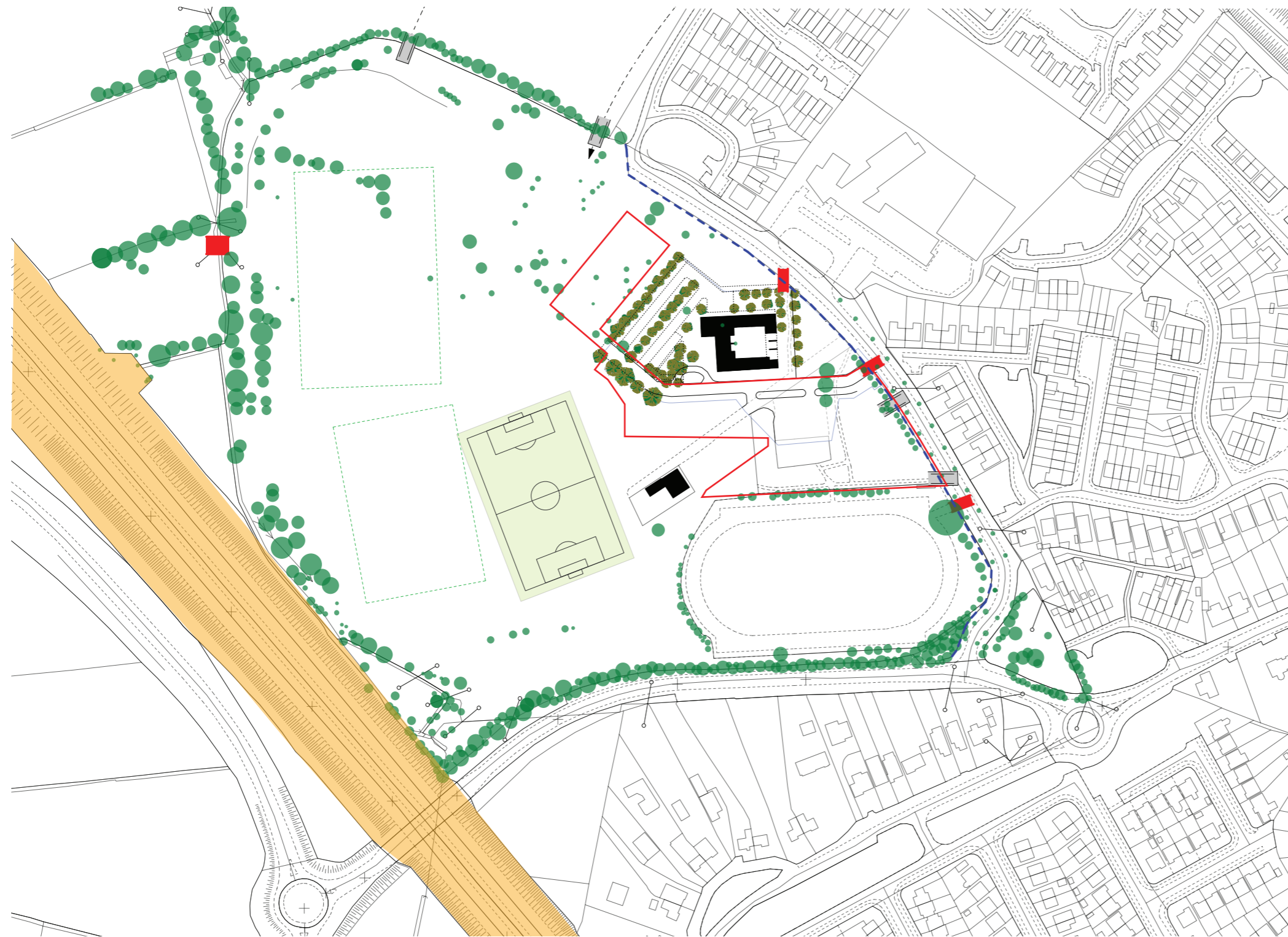




Market Square at Town Centre



- M4 MOTORWAY
- ROAD 125 & ROAD 407
- RAILWAY
- TOWN CENTRE

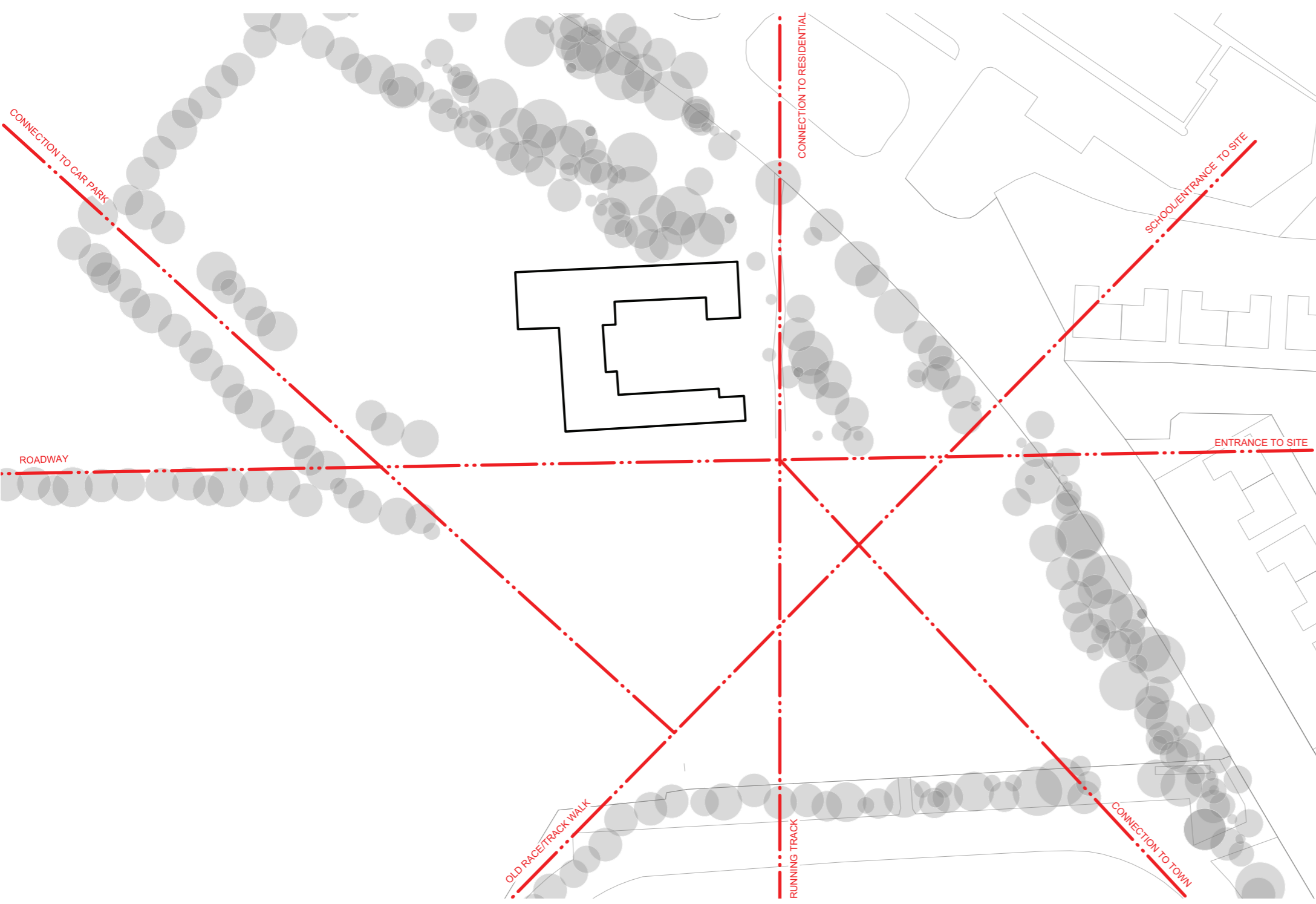
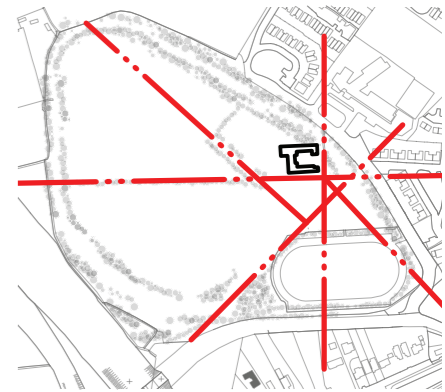


- METAL FENCE
- HEDGEROW
- EXISTING ACCESS
- FUTURE ACCESS
- M4

DESIGN ANALYSIS

DESIRE LINE

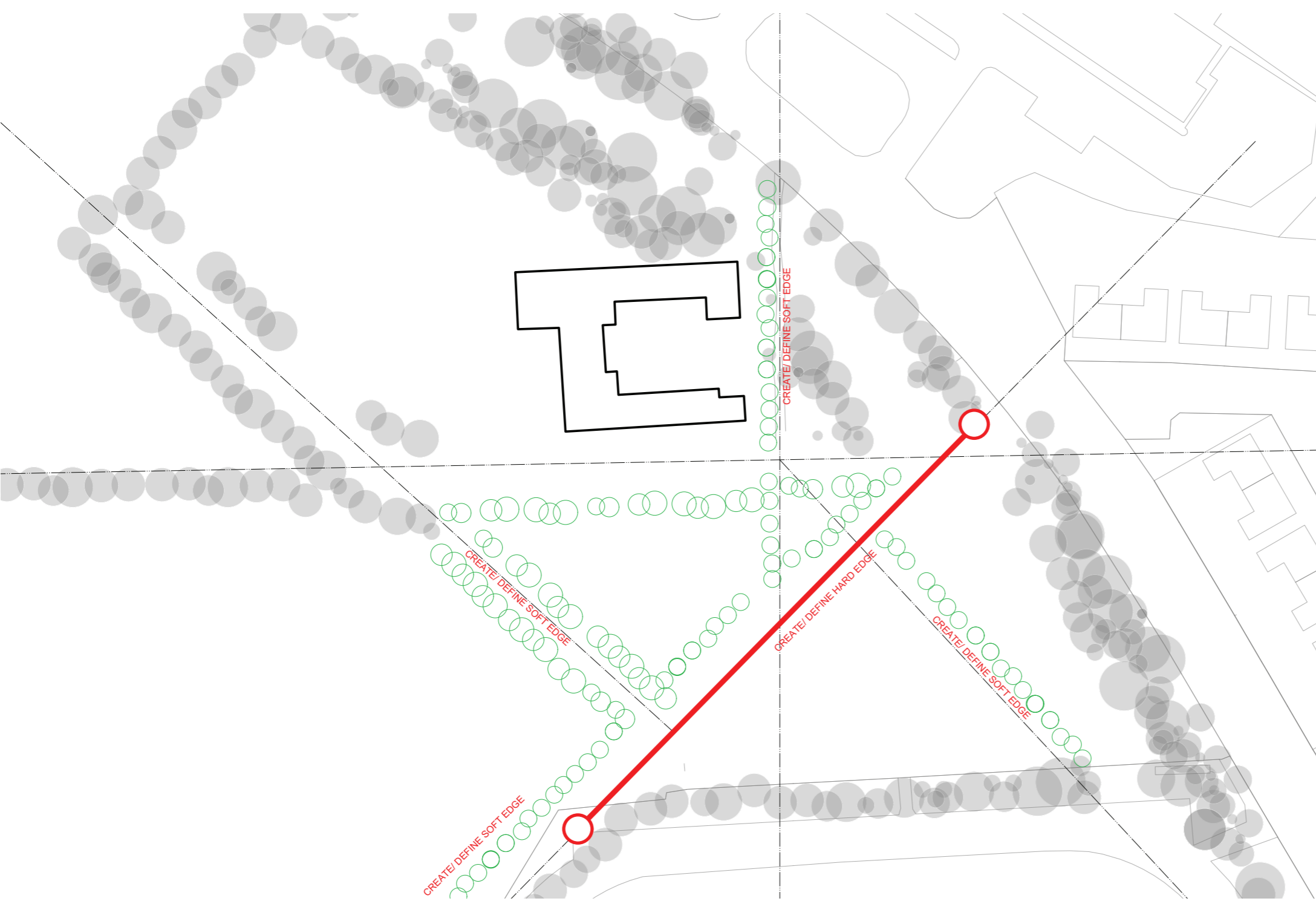
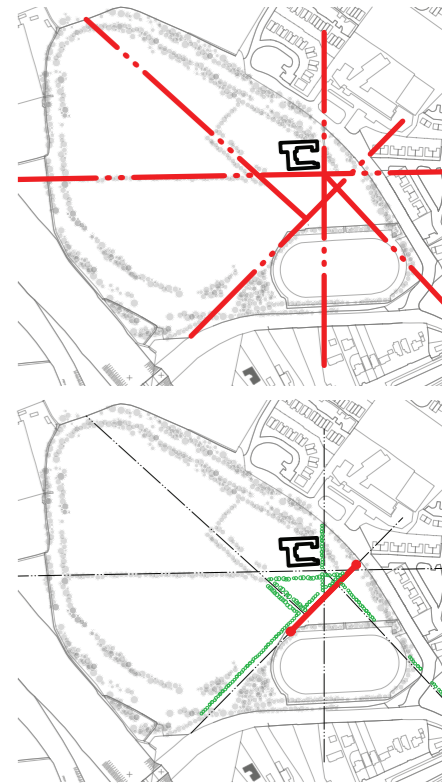
- * DESIRE LINE
- * WALKWAY
- * LINKAGE
- * CONNECTION
- * SHORTCUT



DESIGN ANALYSIS

HARD & SOFT EDGES

- * EDGE TO NEW WALKWAY
- * DEFINING SPACES
- * CREATING EDGE
- * RELATING TO CONTEXT



DESIGN ANALYSIS

ZONE



* HIERARCHY OF SPACE



DESIGN ANALYSIS

FUNCTION ZONE

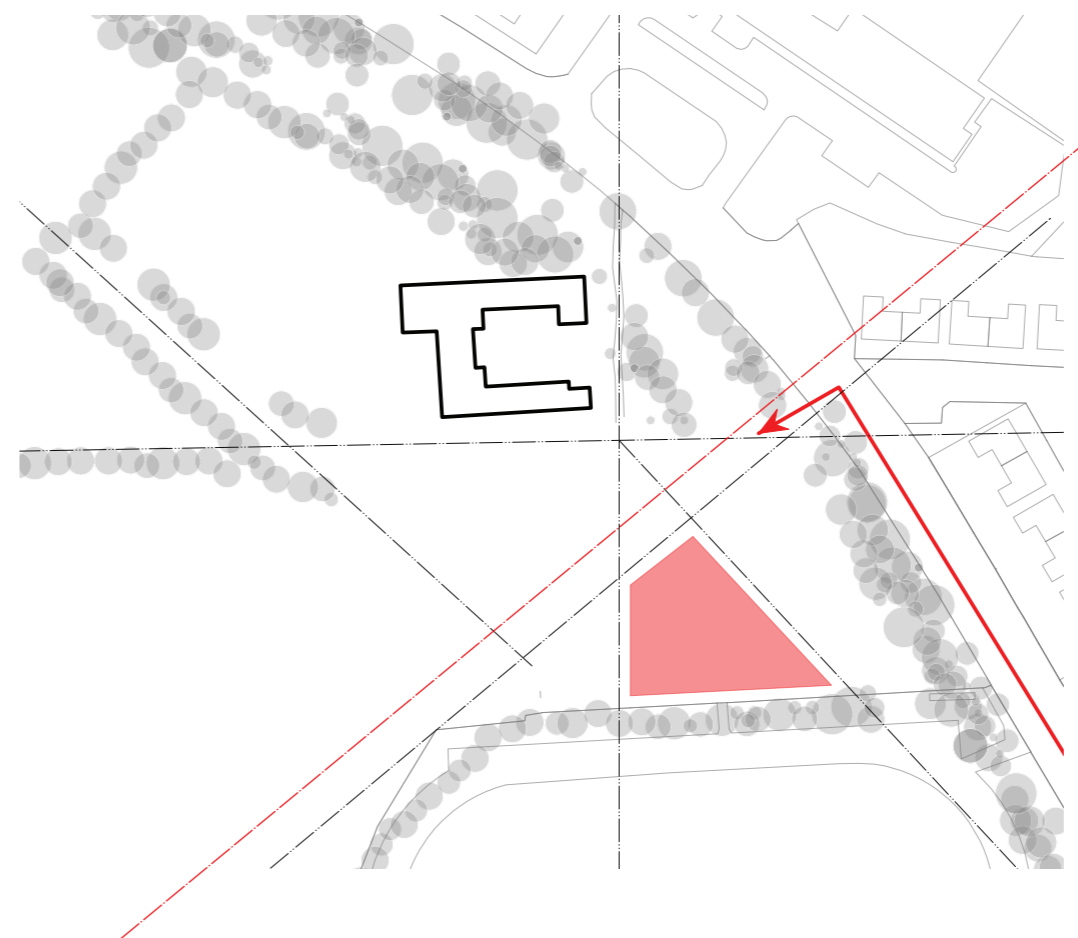
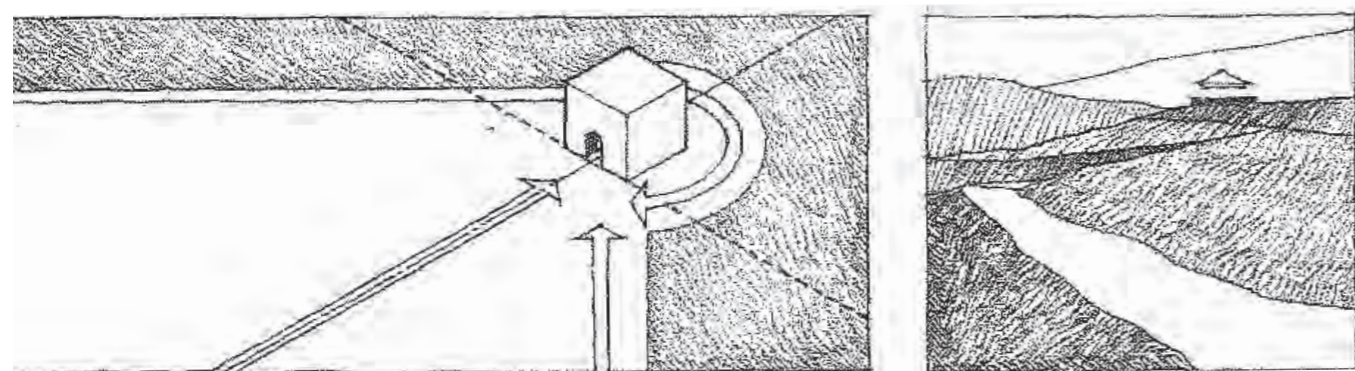
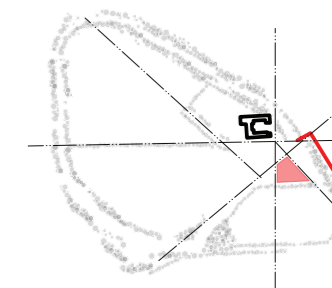


DESIGN INTENT

APPROACH

* The Distant View

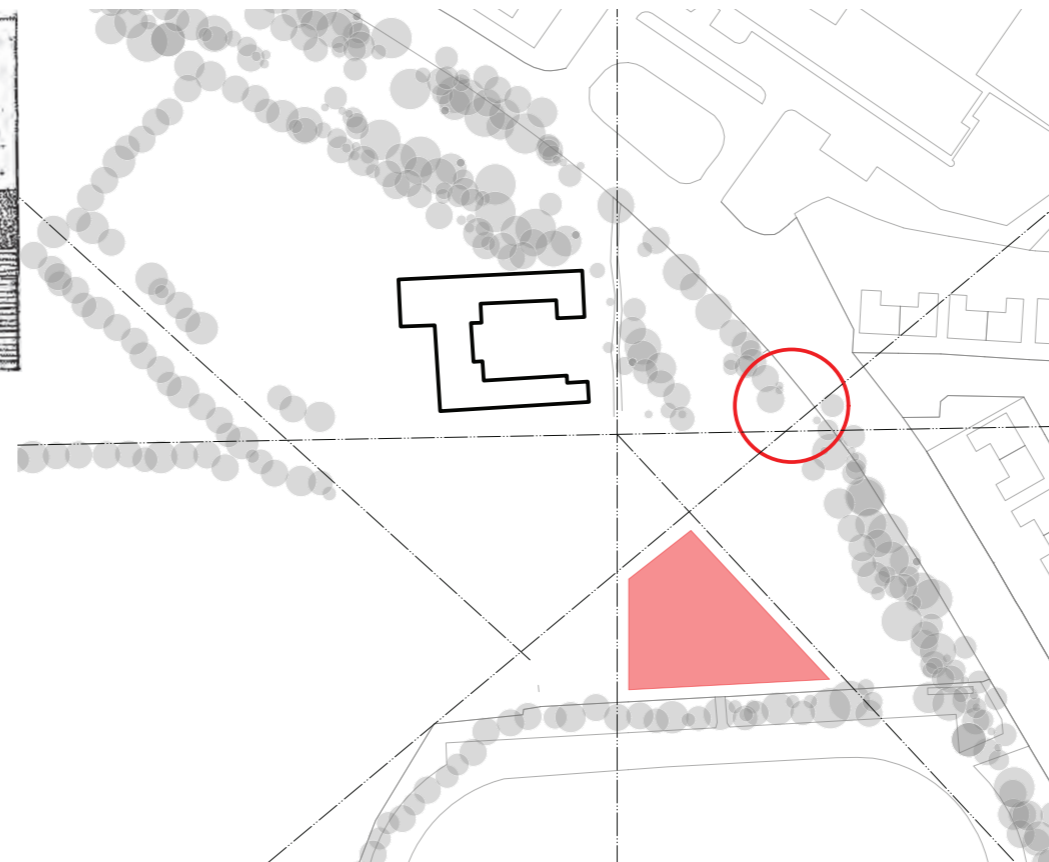
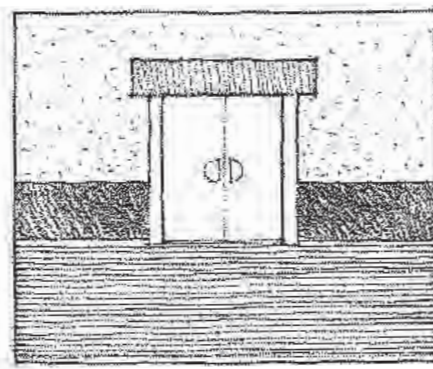
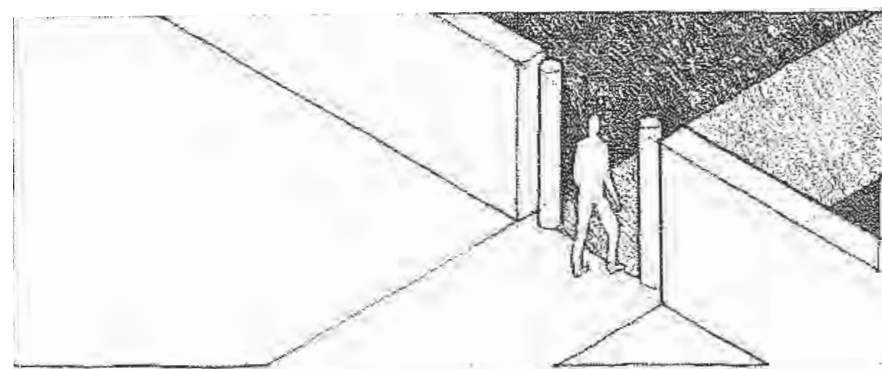
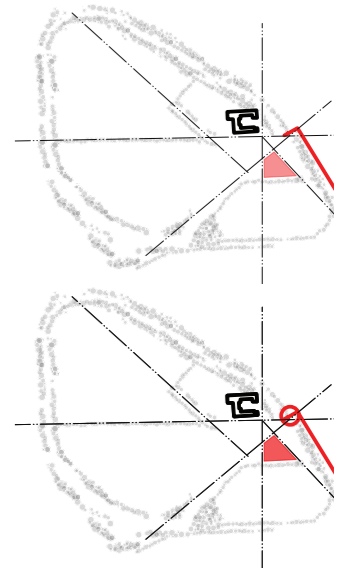
EXTRACTION FROM ARCHITECTURE FORM, SPACE & ORDER BY FRANCIS D.K. CHING



ENTRANCE

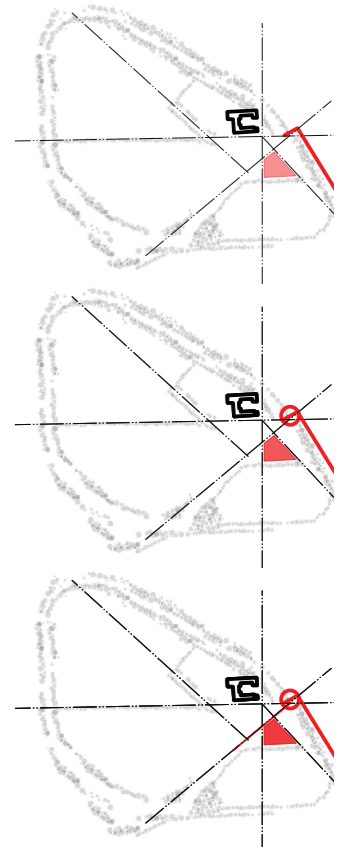
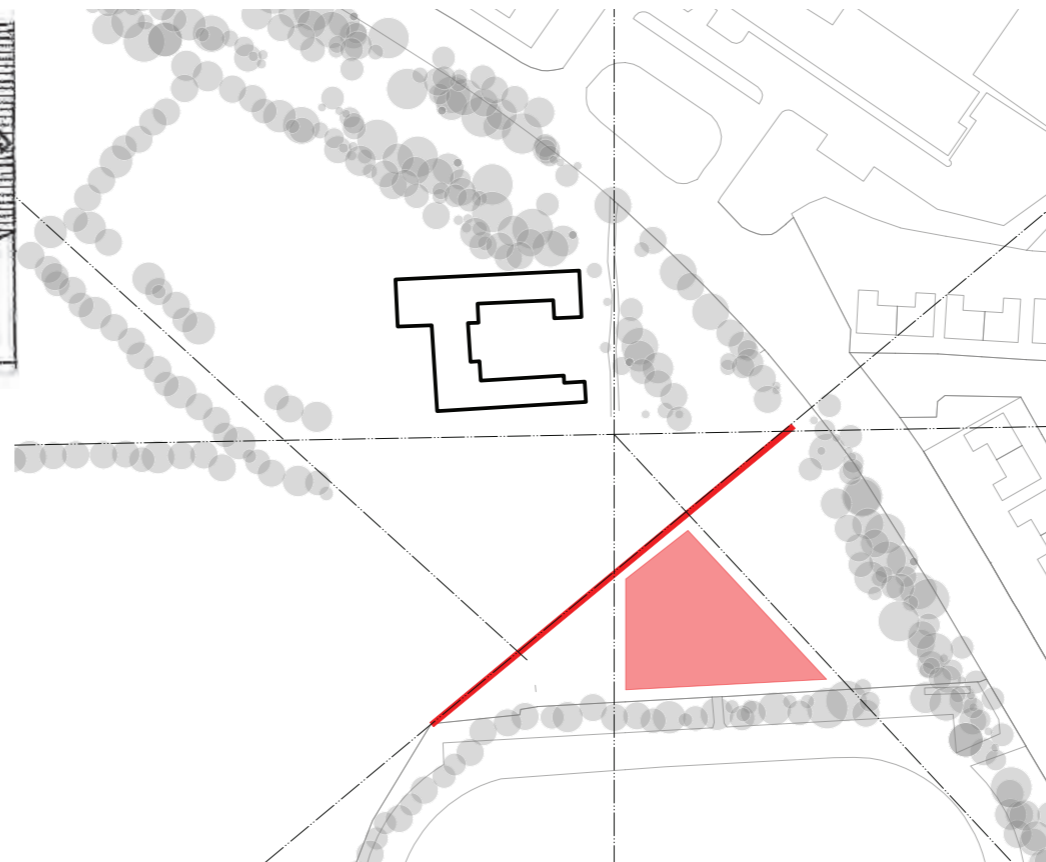
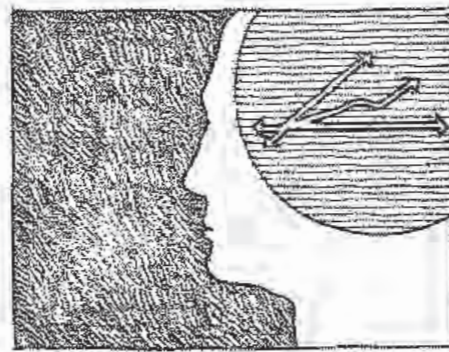
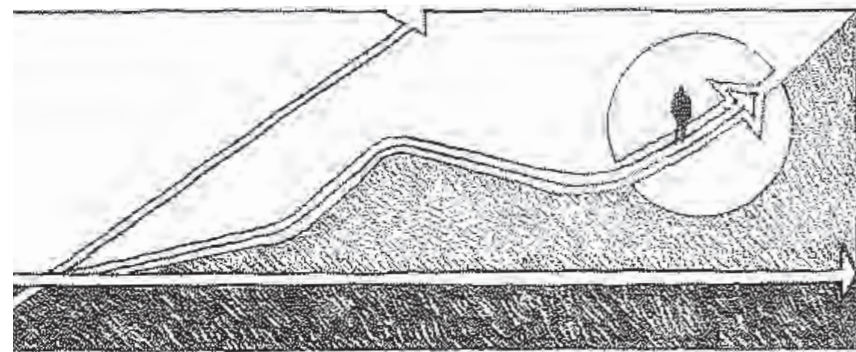
* From outside to inside

EXTRACTION FROM ARCHITECTURE FORM, SPACE & ORDER BY FRANCIS D.K. CHING



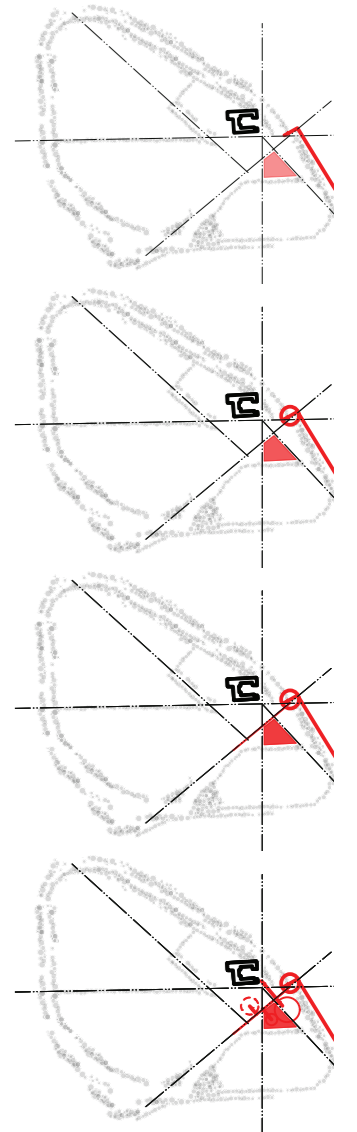
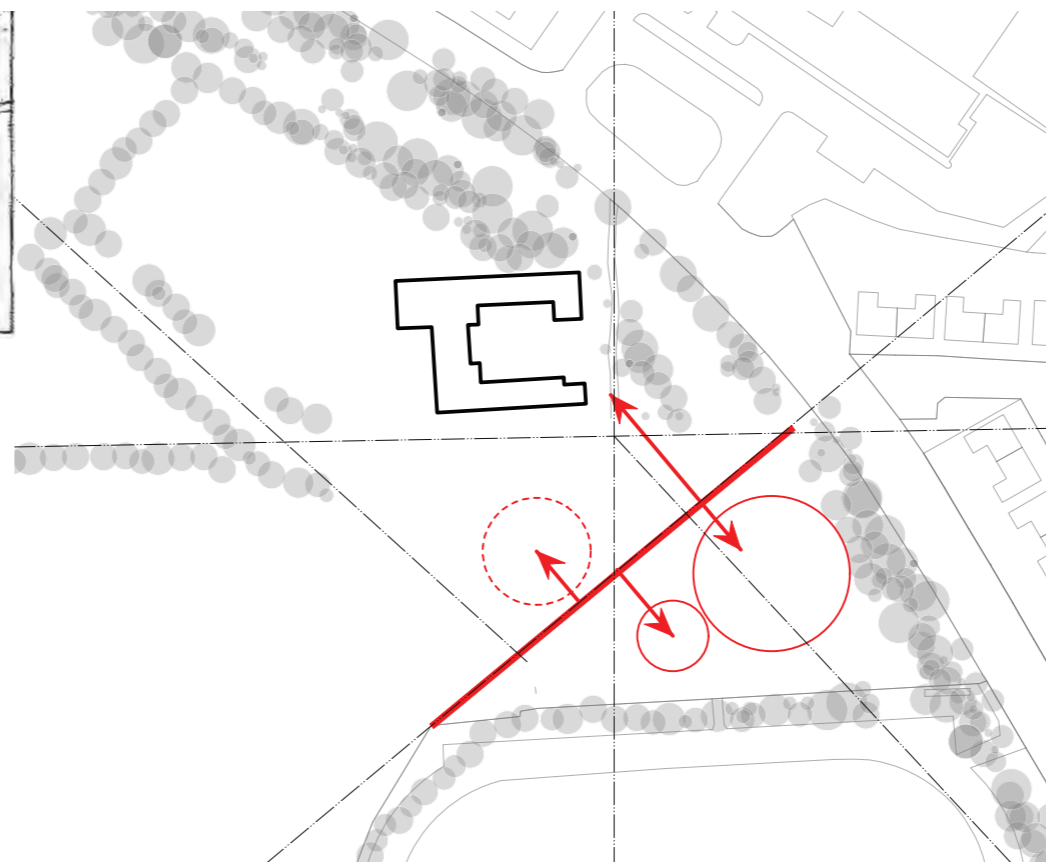
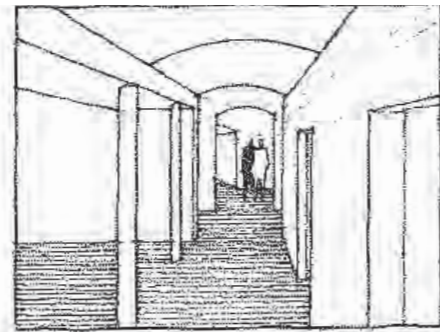
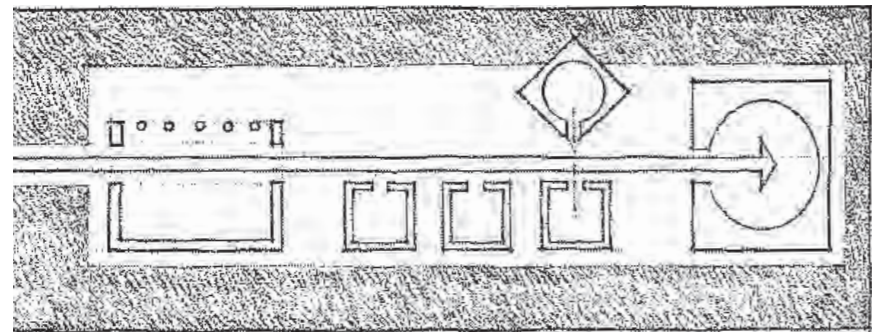
CONFIGURATION OF THE PATH

* The sequence of space
EXTRACTION FROM ARCHITECTURE FORM, SPACE & ORDER BY FRANCIS D.K. CHING



PATH SPACE RELATIONSHIP

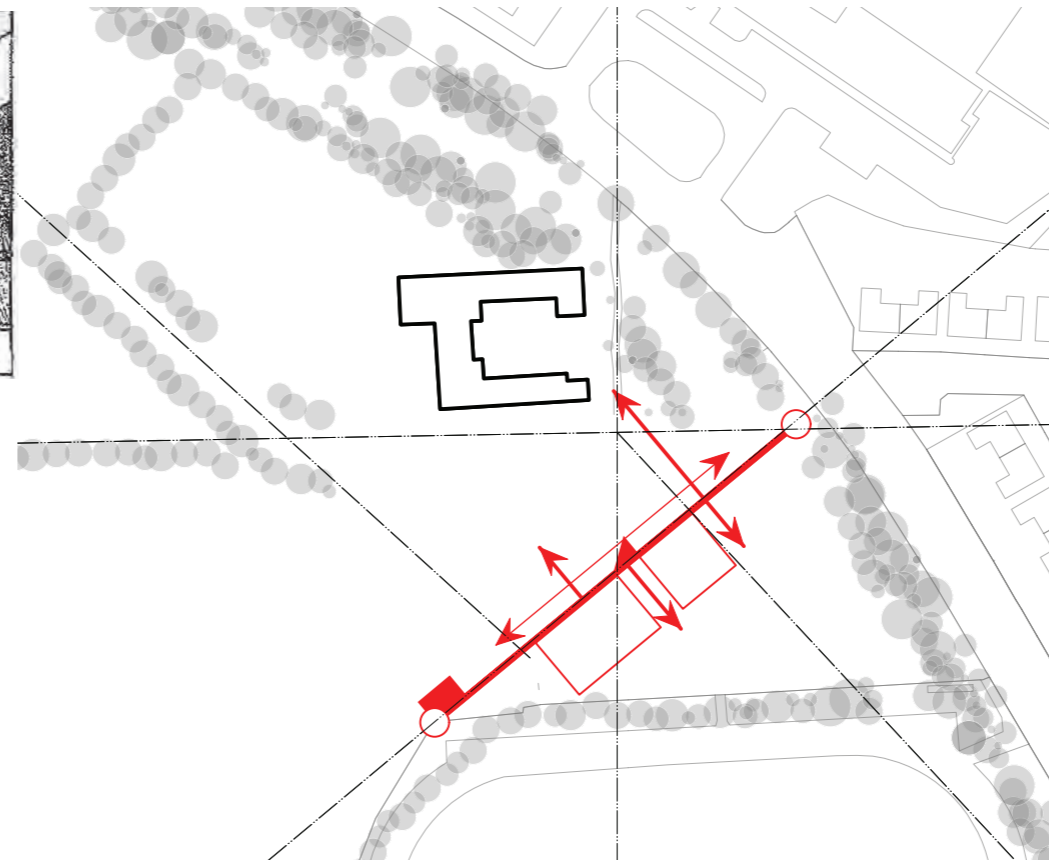
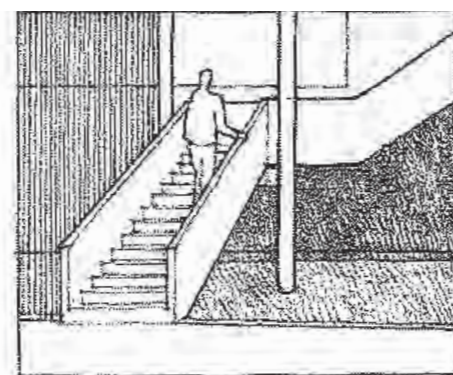
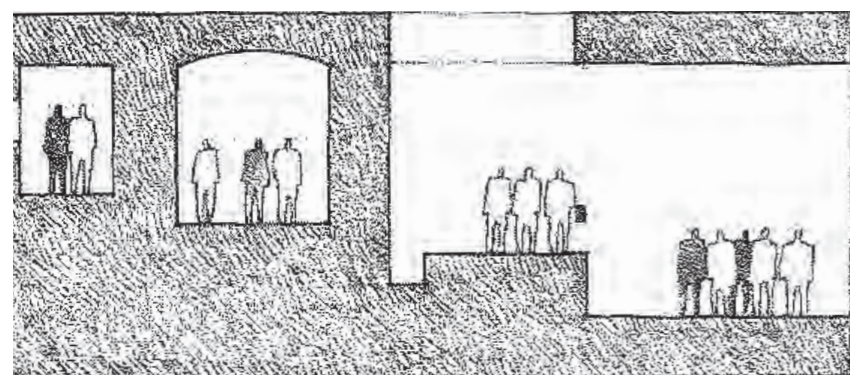
* Edge, nodes and termination of the path
EXTRACTION FROM ARCHITECTURE FORM, SPACE & ORDER BY FRANCIS D.K. CHING



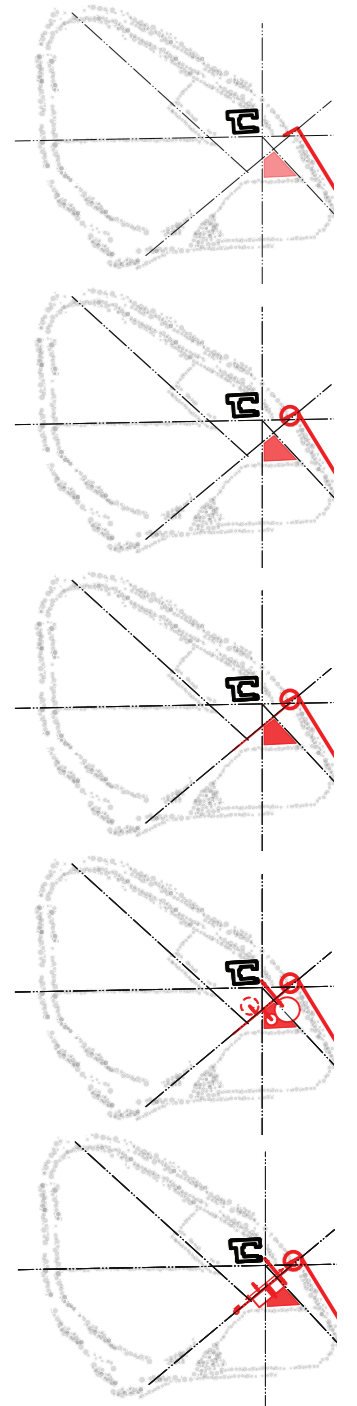
FORM OF THE CIRCULATION SPACE

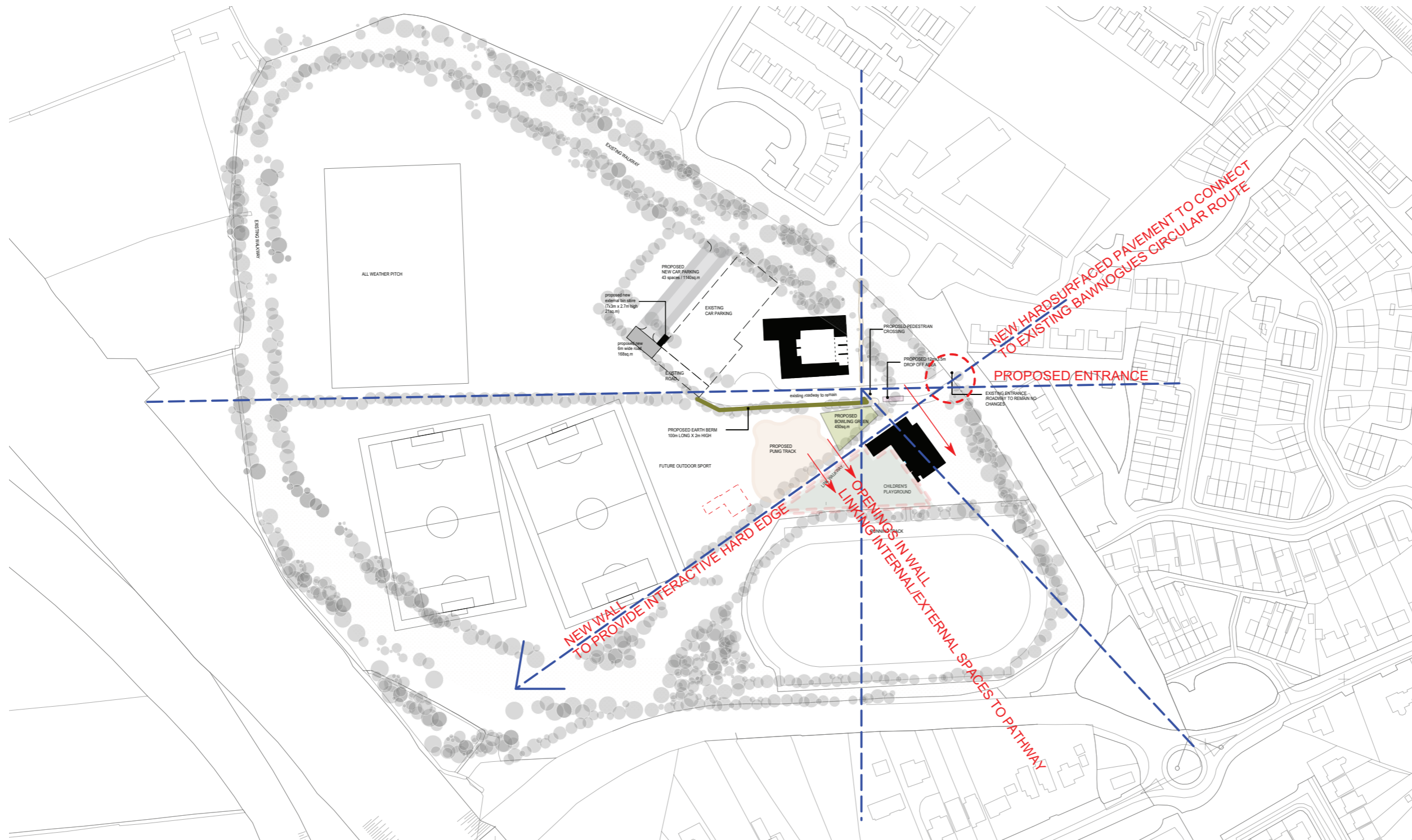
* Corridors, Halls, galleries, stairways & rooms

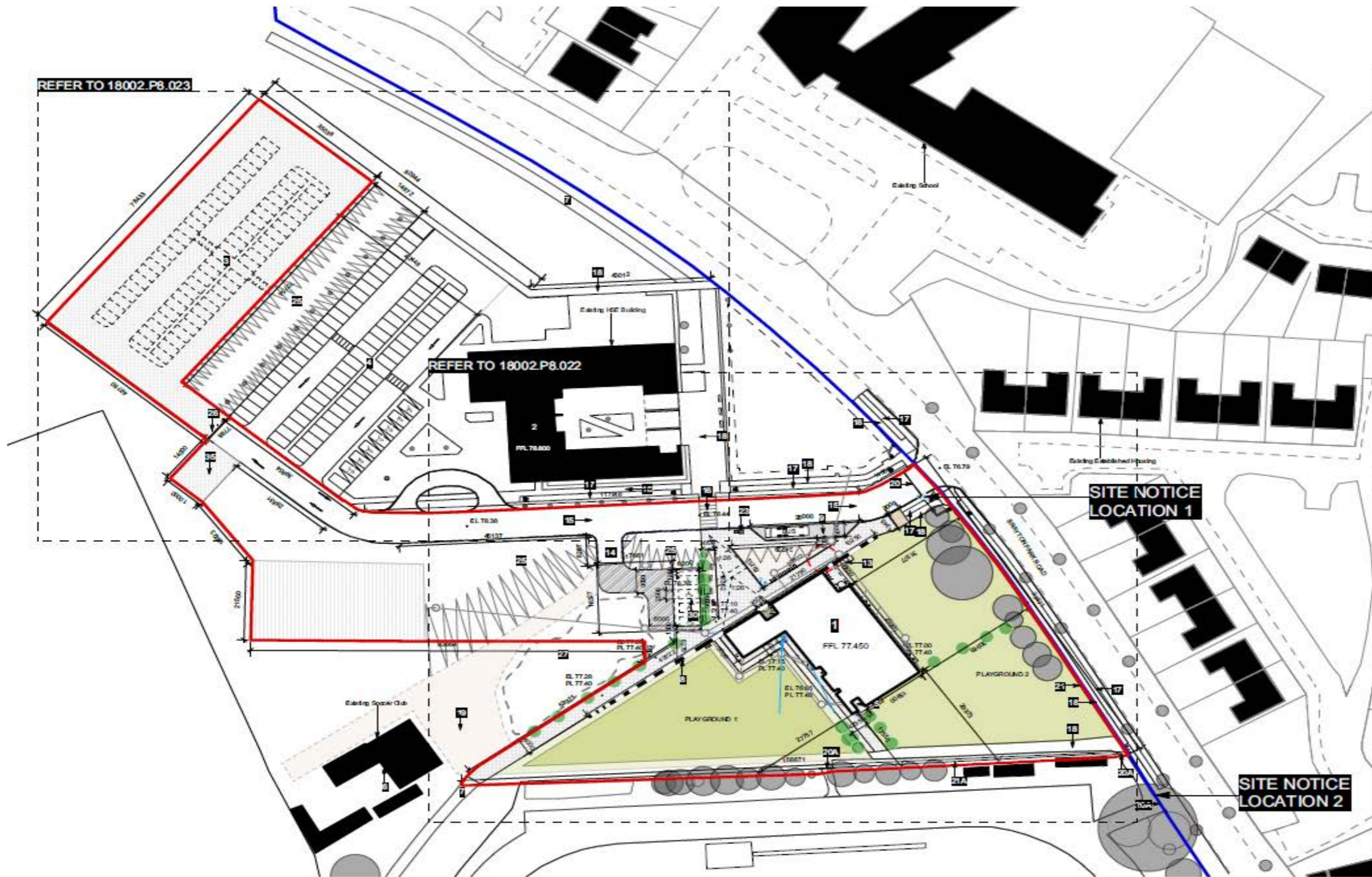
EXTRACTION FROM ARCHITECTURE FORM, SPACE & ORDER BY FRANCIS D.K. CHING



- * MODULAR
- * SIMPLE
- * MODERN







North

LEGEND

1. Proposed Community Centre FFL 77.450
2. Existing Primary Care Centre (no Works) FFL 78.800
3. Future Gravel Area Overflow Car Parking 70 Spaces (notional Layout) To Traffic Engineer's Detail
4. Existing Shared Car Parking (no Works) 78 Spaces (incl. 7 Uni Spaces)
5. Proposed External Plant Area
6. Existing Soccer Club (no Works)
7. Existing Bawnogue Track (no Works) Bitmac
8. Proposed Wall
9. Proposed New Bus Set-Down - Bitmac Finish
13. Proposed Bin Store
14. Existing Tarmac Finish - Entrance To Soccer Club
15. Existing Tarmac Road (no works)
16. Existing Pedestrian Crossing (no works)
17. Existing Cycle Lane (no Works)
18. Existing Footpath (no Works)
19. Existing Unsurfaced Road Access / Car Parking Area to Soccer Club, To Remain (no Works/unaffected By New Works)
20. Existing Vehicle/pedestrian Entrance to the Bawnogues amenity To Remain (no Works)
- 20A. Existing Pedestrian Entrance to the Bawnogues amenity/Running club To Remain (no Works)
21. Existing 2m high Metal Fence on Low Masonary Wall To Remain (no Works)
- 21A. Existing 2m high Metal Fence To Remain (no Works)
23. Existing mini pillar (no Works)
25. Existing Earth Embankment To Remain (no Works)
26. Proposed Bollards
27. Proposed Pump Track Zone (By others)
30. Existing Tarmac Car Park to be altered to provide proposed 4 no. Universal Car Parking Spaces (To serve new community centre)
35. Proposed Turning Circle Area - Gravel type finish To Traffic Engineer's Detail

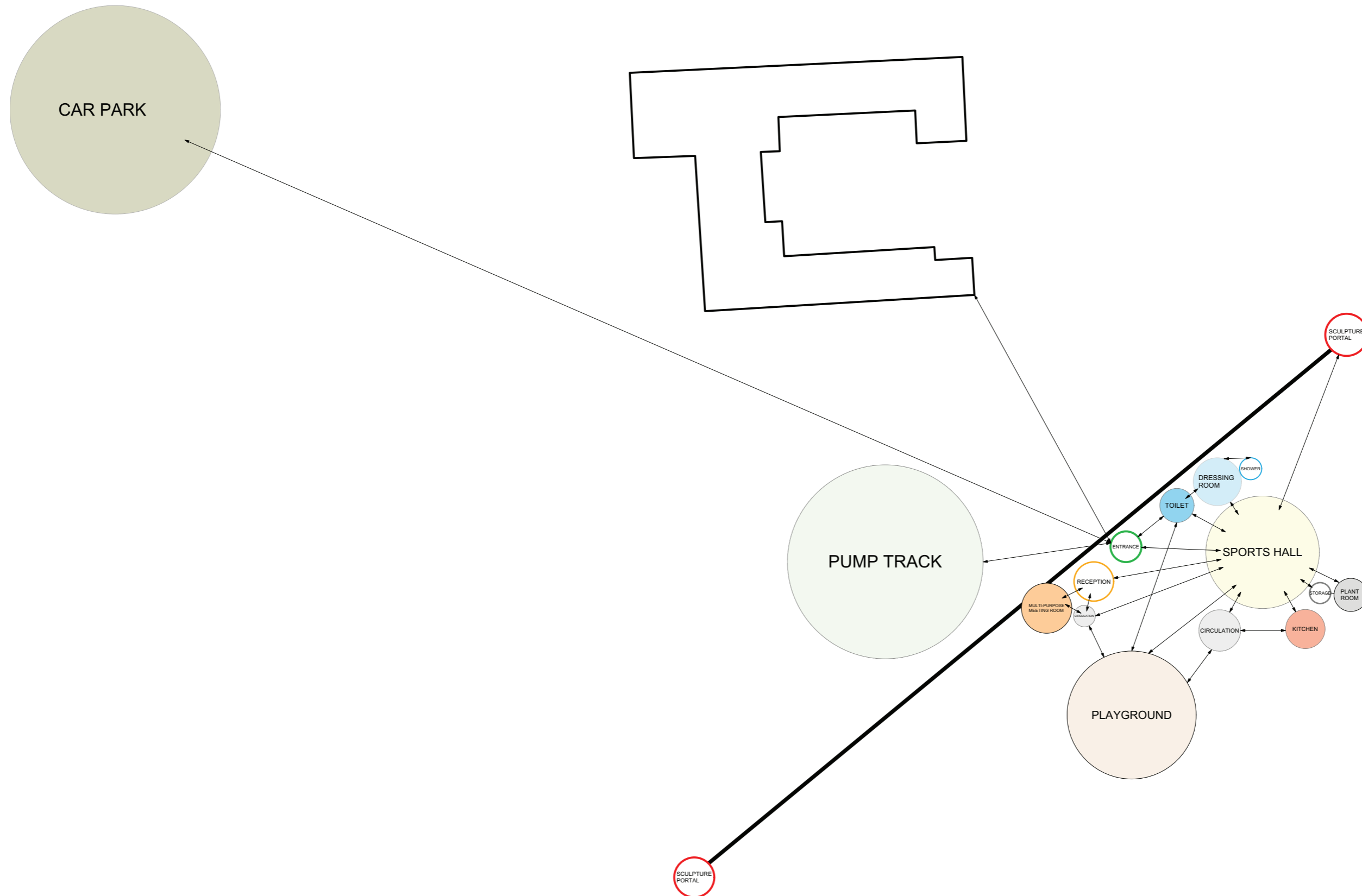
EL=Existing Levels
PL=Proposed Levels

- Existing Tree
- Proposed Bike Stand - 20. no.
- Proposed Tree
- Existing Tree to be removed
- Proposed plaza and footpath - Hard Surface paving/Bitmac
- Proposed Tarmac Surface Road
- Proposed Gravel Surface in Plaza
- Proposed Concrete Bench
- Proposed Playground - Sand/bark/soft Paving Finish
- Proposed Signage-Refer to drawing 18002.P8.950
- Proposed Signage-Refer to drawing 18002.P8.951
- Tactile paving
- Existing Attenuation Tank - Refer to engineer's drawing
- Propose Surface Water/Foul Network- Refer to engineer's drawing

EXISTING STRUCTURES/FEATURES

01 PROPOSED SITE PLAN OVERALL
020

RELATIONSHIP DIAGRAM

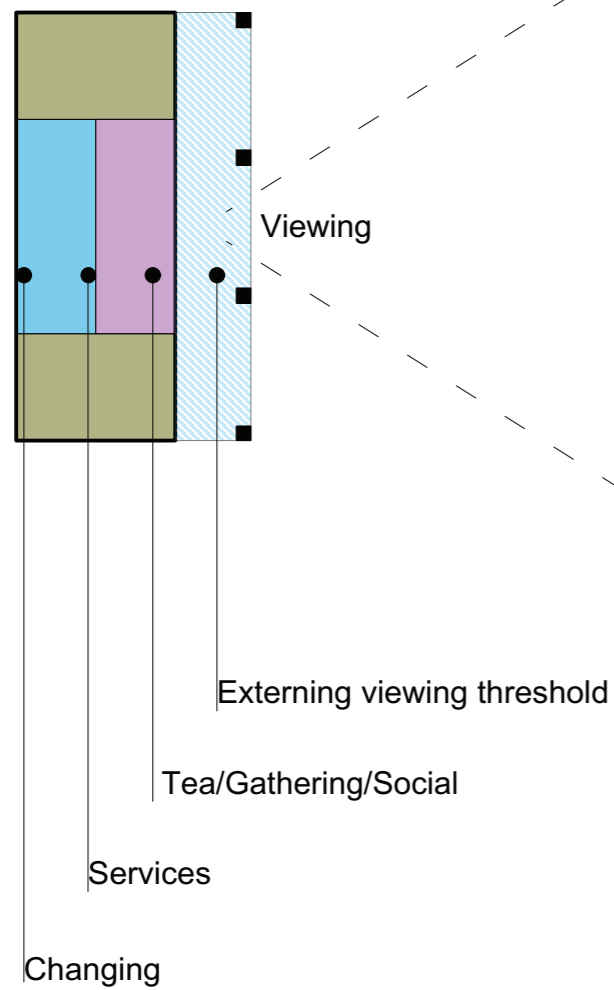


PAVILION BUILDING TYPOLOGY

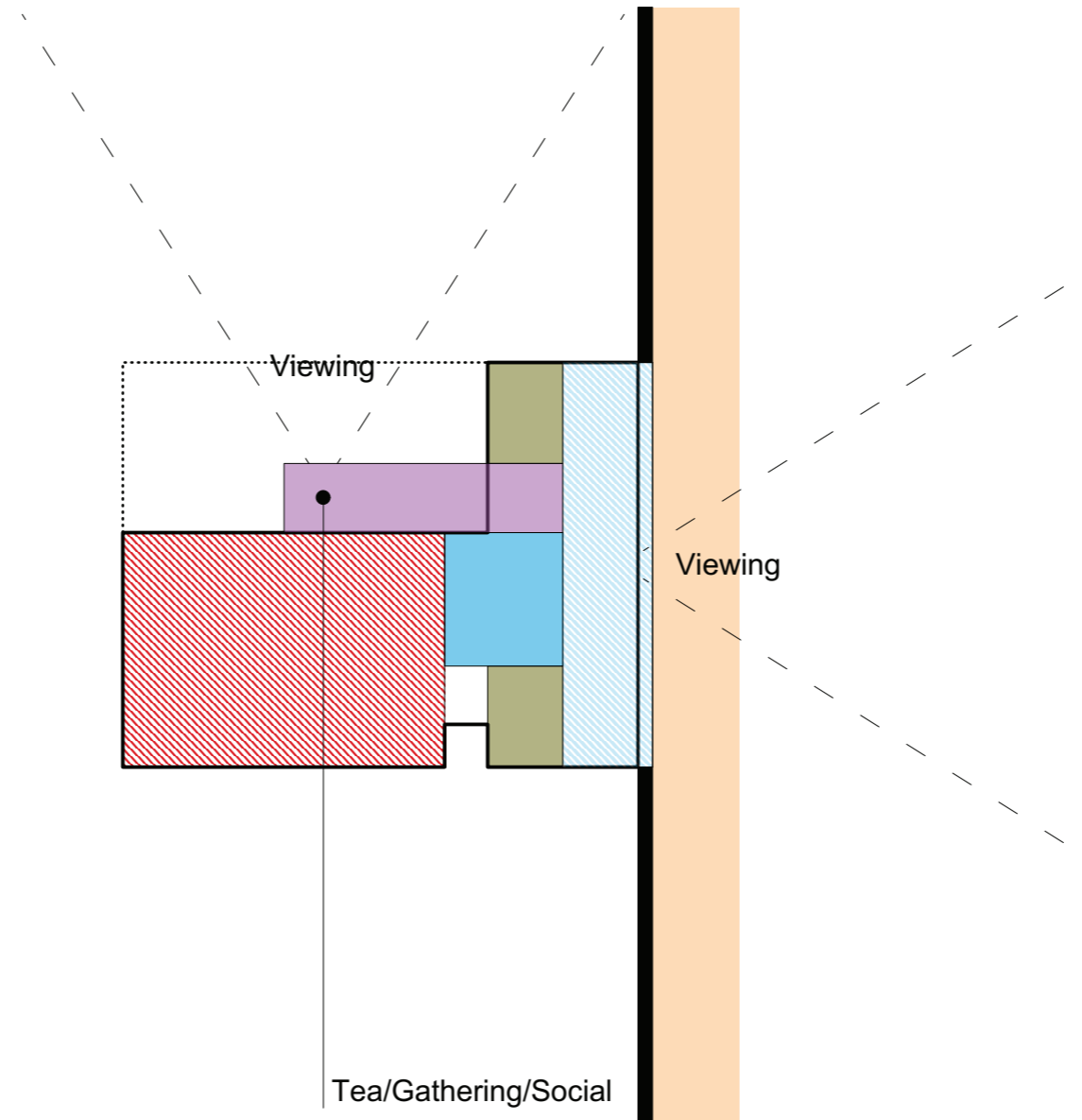
PAVILION

"A pavilion is usually a building adjacent to a ground used for changing clothes and often partaking of refreshments. Often it has a veranda to provide protection from the sun for spectators. In cricket grounds, as at Lords, a cricket pavilion tends to be used for the building the players emerge from and return to, even when this is actually a large building including a grandstand."

- Changing
- Viewing
- Services (toilets)

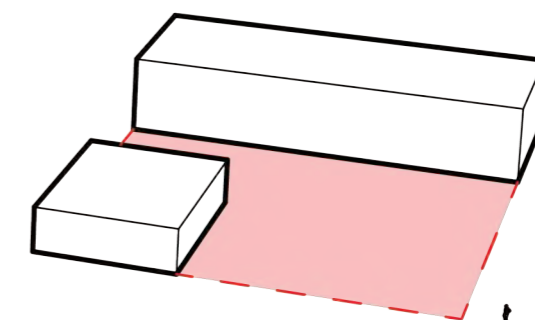
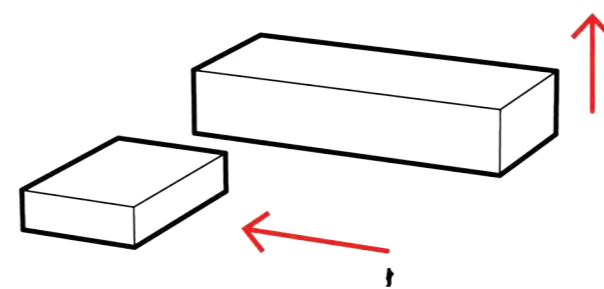
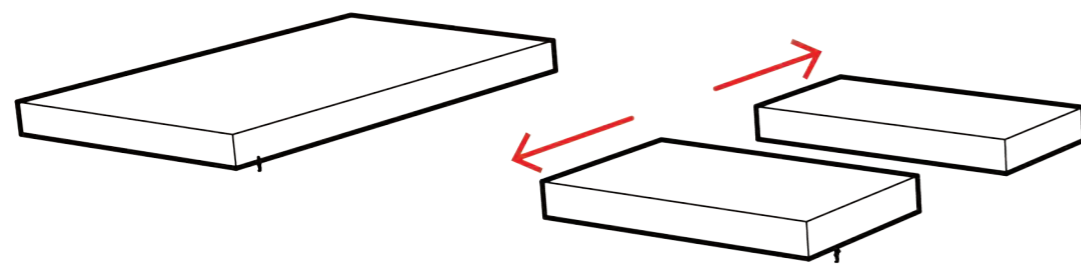
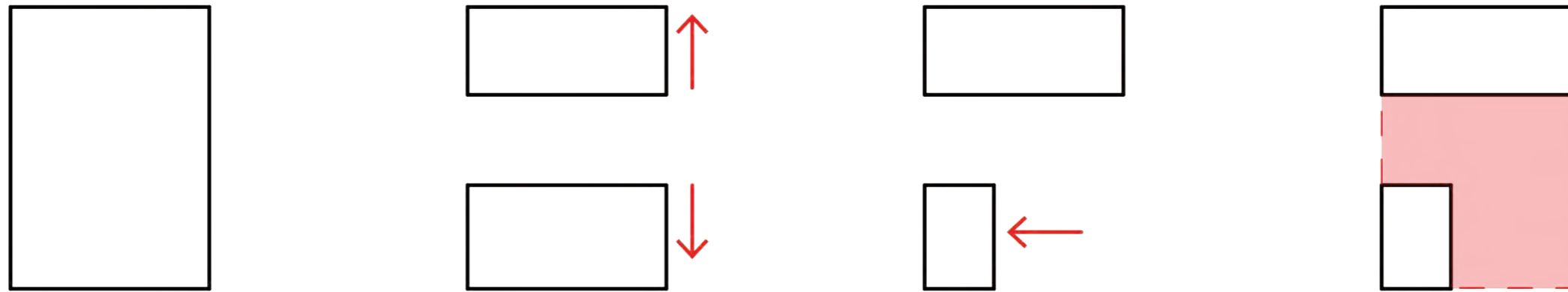


TYPICAL PAVILION



PROPOSED KILCOCK COMUNITY CENTRE

HEIGHT/FORM STUDY CONCEPT



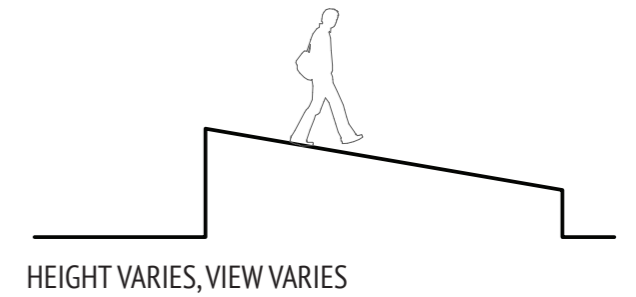
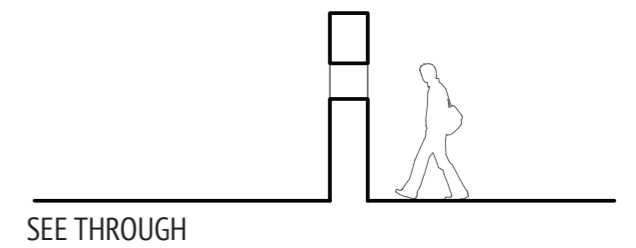
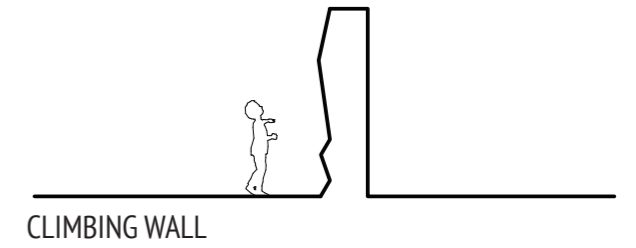
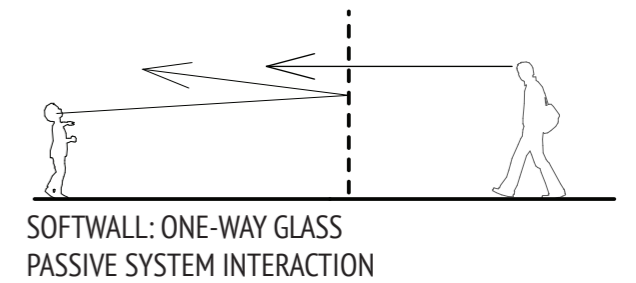
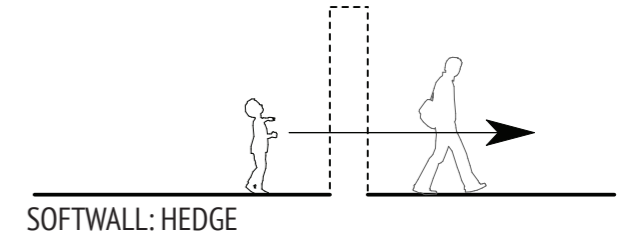
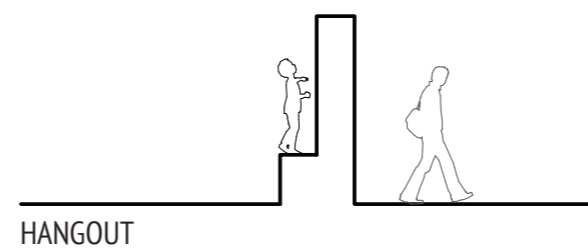
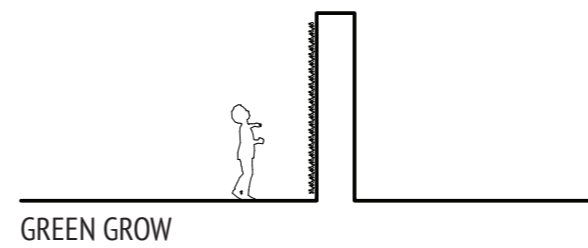
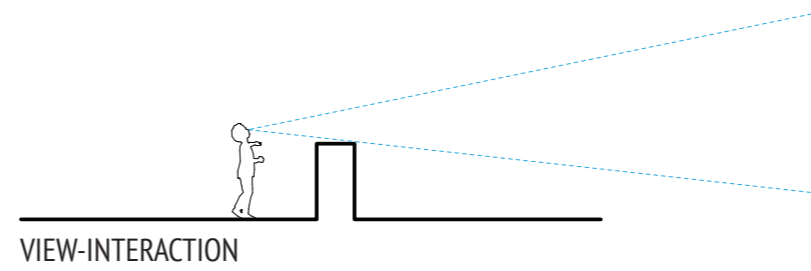
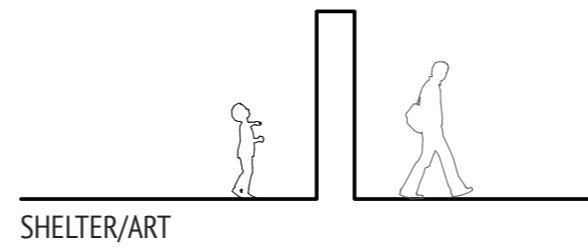
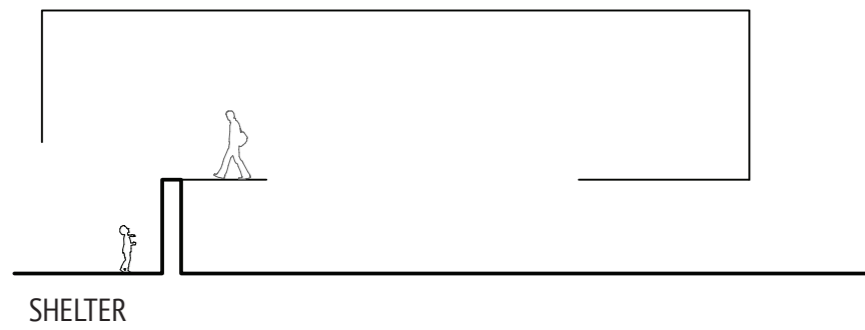
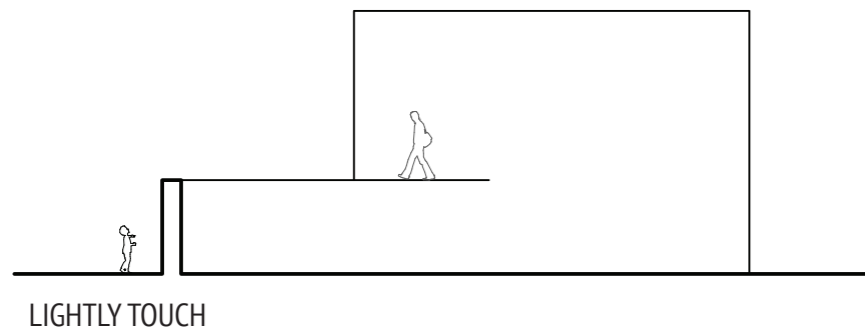
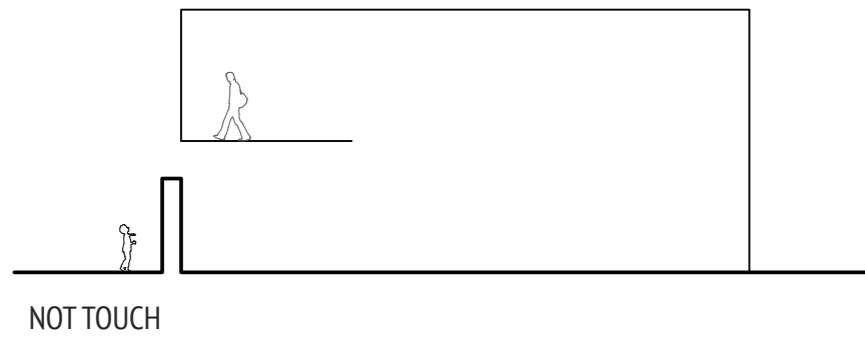
SINGLE FOOTPRINT

BREAKING DOWN THE MASS

HEIGHT RESPONDING TO FUNCTION

CREATING SPACES BETWEEN BUILDINGS

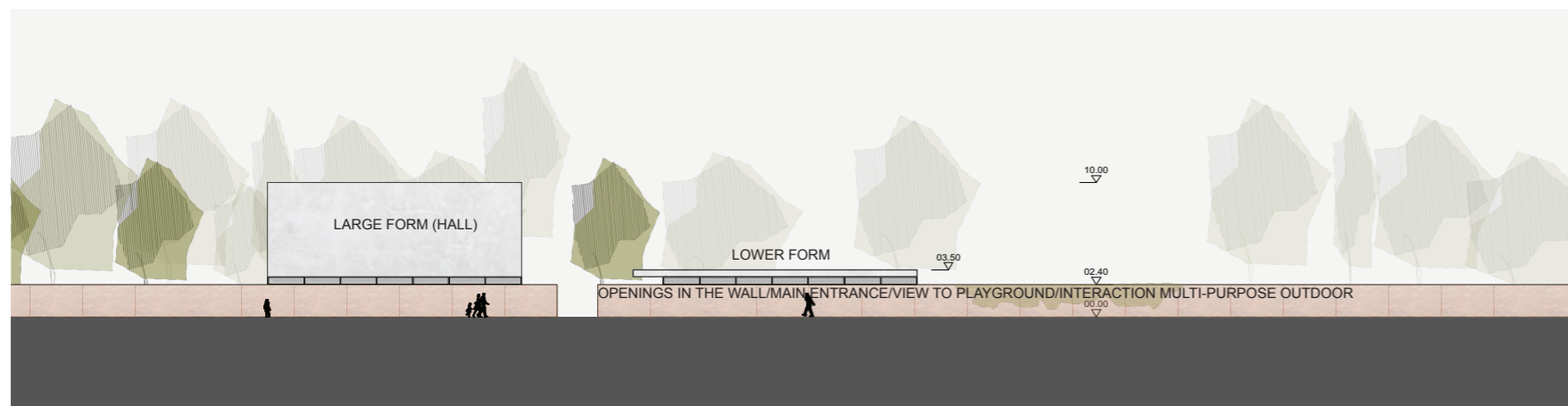
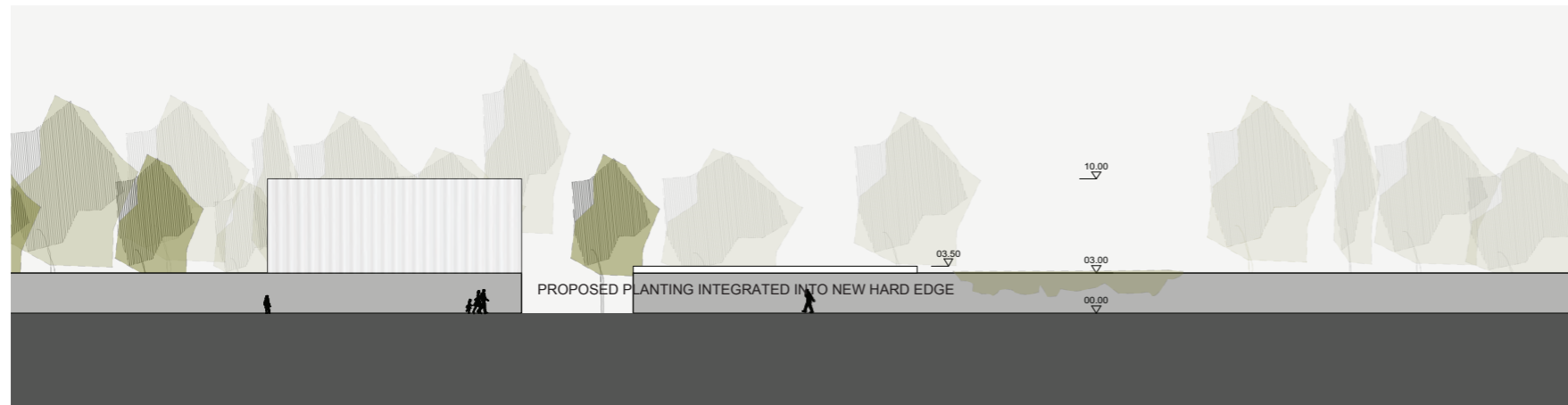
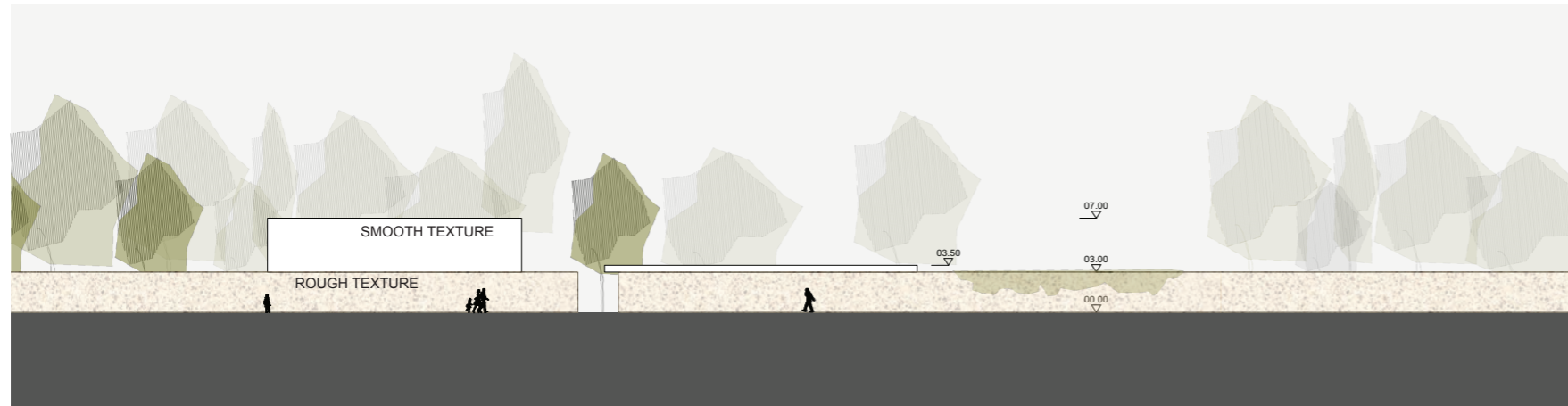
HARD EDGE CONCEPT/USES/INTERACTION WITH COMMUNITY



FORM & ELEVATION STUDY

FORMS

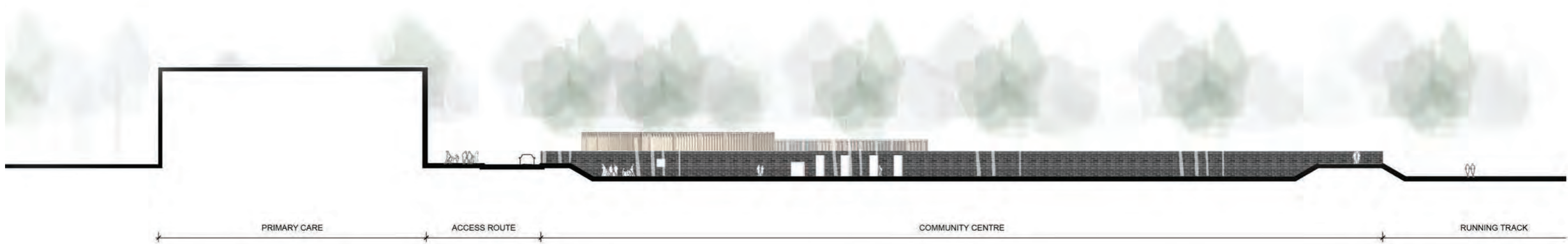
- Textures
- Highs
- Openings
- Planting



NORTHWEST ELEVATION-VARIATIONS



ARTISTIC VISUALIZATION/STUDY/Form & USES



Serpentine-Pavillon, London
Peter Zumthors



Alzheimer's Respite Centre, Dublin
Niall Mclaughlin



Somerville College student housing
Niall Mclaughlin



Sean o'casey centre, Dublin
O'Donnell & Tuomey Architects



House at Goleen, Ireland



Cabra Community Centre, Dublin



Cemetry
Gunnar Asplund & Sigurd Lewerentz Hassett Ducatez Architects ...



Brookfield Community & Youth Centre, Dublin



Campus Conference Centre, Ireland
Cooney Architects



Meath Centre Of Excellence, Ireland
Cooney Architects

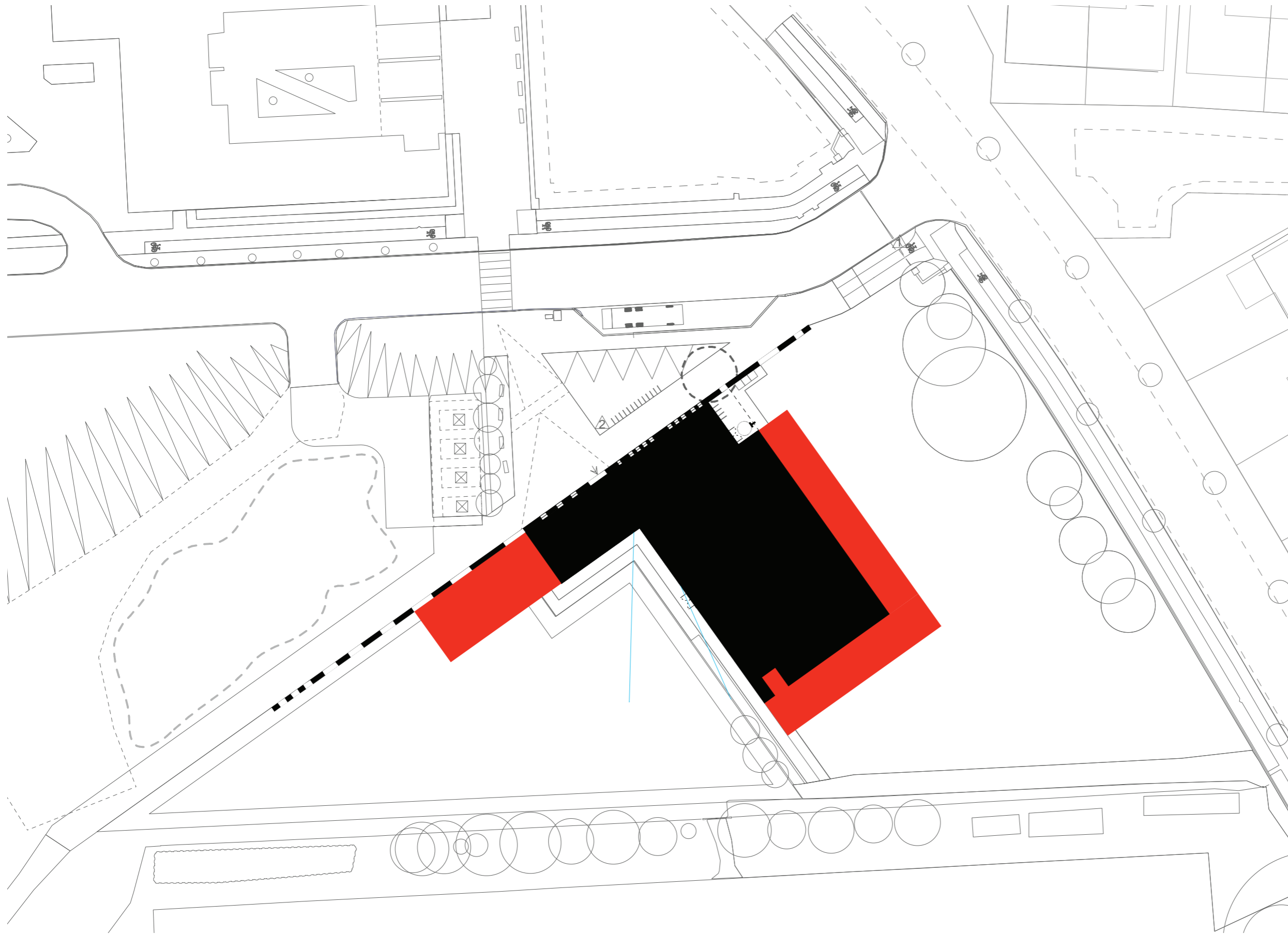


Granby Park



PumpTrack





FUTURE EXTENSION

EXTENSION ZONES



CONCEPT DIAGRAM/ 3D VISUALIZATION



KILCOCK COMUNITY CENTRE PROPOSAL

SPORTS PAVILION



Reference:
Cricket Pavilion
Dublin, Ireland

CooneyArchitects

The Old Brewers Club,
32 The Coombe, Dublin 8, Ireland
T +353 (0) 1 4533 444



CONCEPT DIAGRAM/ 3D VISUALIZATION WITH TEXTURE HIERARCHY & FORM

**WHAT IS A COMMUNITY CENTRE?**

"What is a Community Centre?"

This was a question which arose early in the design process. Without answering the question definitively, it was decided that this centre would be one which analysed the needs of every member of the community, and responded to that need in an appropriate way, to create a humane and civilized place for all the people of Kilcock.

It was acknowledged that it was fundamental to the success of the centre that a deeply sustainable approach to the design, including future proofing, and flexibility of occupation and use was incorporated at early stage of the design process.

CIVIC CONTEXT

The New Community Centre will be an Important Building in Kilcock. It will have a presence, as a focal point at the entrance to the Bawnogues. This civic importance is acknowledged in the quality of materials chosen, which will forge the identity of the community centre, and in its prominent location in the Bawnogues.

The community centre will have a civil responsibility to be universally accessible, as will all external spaces. Total inclusion of all members of the community, to all areas has been fundamental to the design approach, and has resulted in the flexible, future proof layout.

BUILDING LAYOUT & DESIGN

Referring always to the theory of Integrated Design, and making consideration at all stages of design process to the principles of building in a manageable and sustainable way, the building layout and design as a response to the following;

- Community Needs and Desires, generated from user group consultation, and analysis of the resulting data.
- Site Specific Conditions, including orientation, location, linkages, masterplan, context in the town, and context in the Bawnogues.
- The ambition of the client, Community, to create a high quality built environment, a community centre which represents the people of Kilcock, and one in which they can find their identity, and can be proud of.

Reference has been made throughout the design process to the neighbouring site, on which the new Primary Care Centre is built. It is envisaged that these two buildings will form the focal point of the entrance to the Bawnogues.

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32 The Coombe, Dublin 8, Ireland
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St Catherine's College Oxford
by Arne Jacobsen



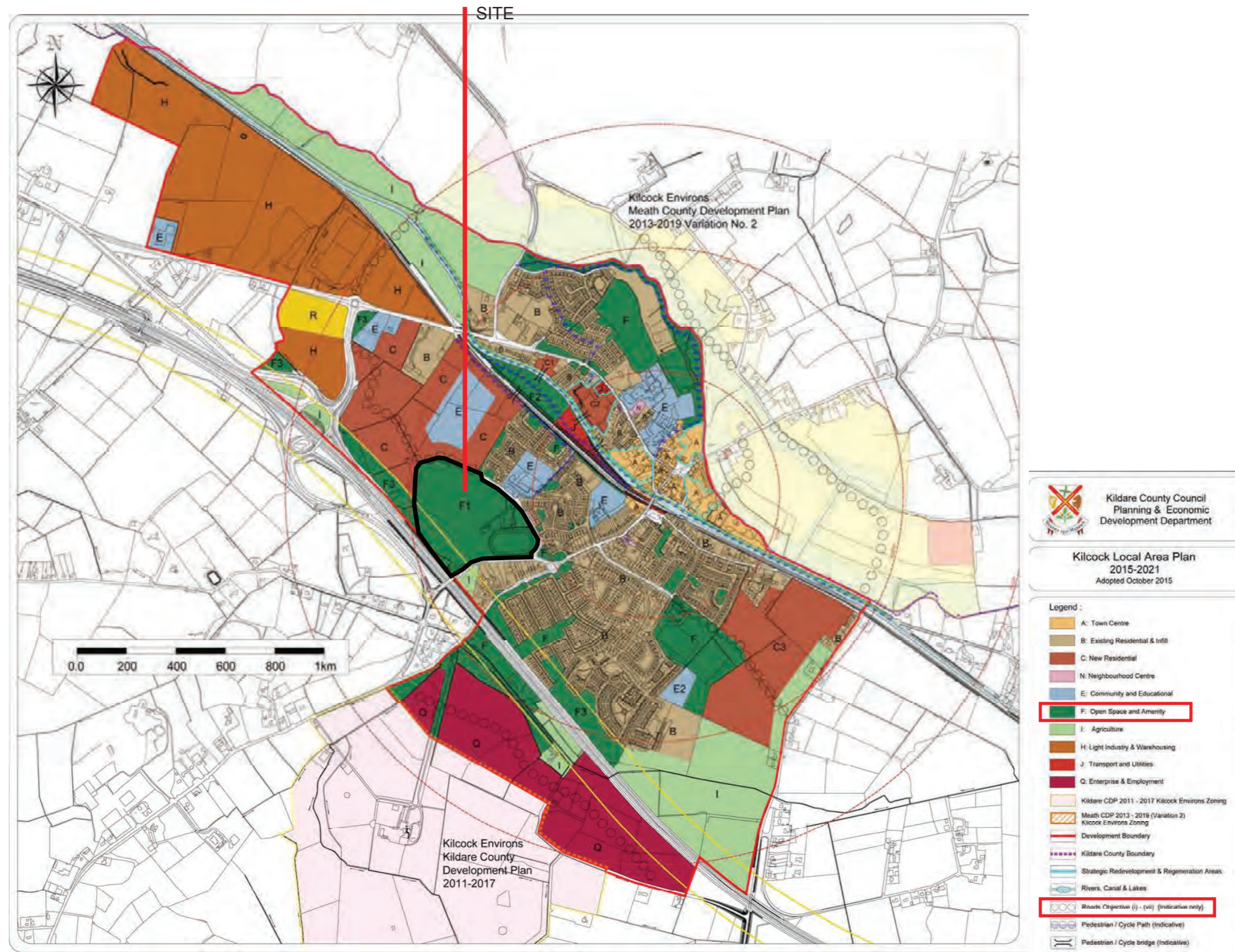
Firhouse Church
by De blacam & Meagher

04 PLANNING CONTEXT



KILCOCK LOCAL AREA PLAN 2015-2021, Adopted October 2015
 Land Use Zoning Objectives

Bawnogue is located under the "Zoning Objective F" "OPEN SPACE & AMENITY" & "Roads Objective i-vii" (Indicative only)

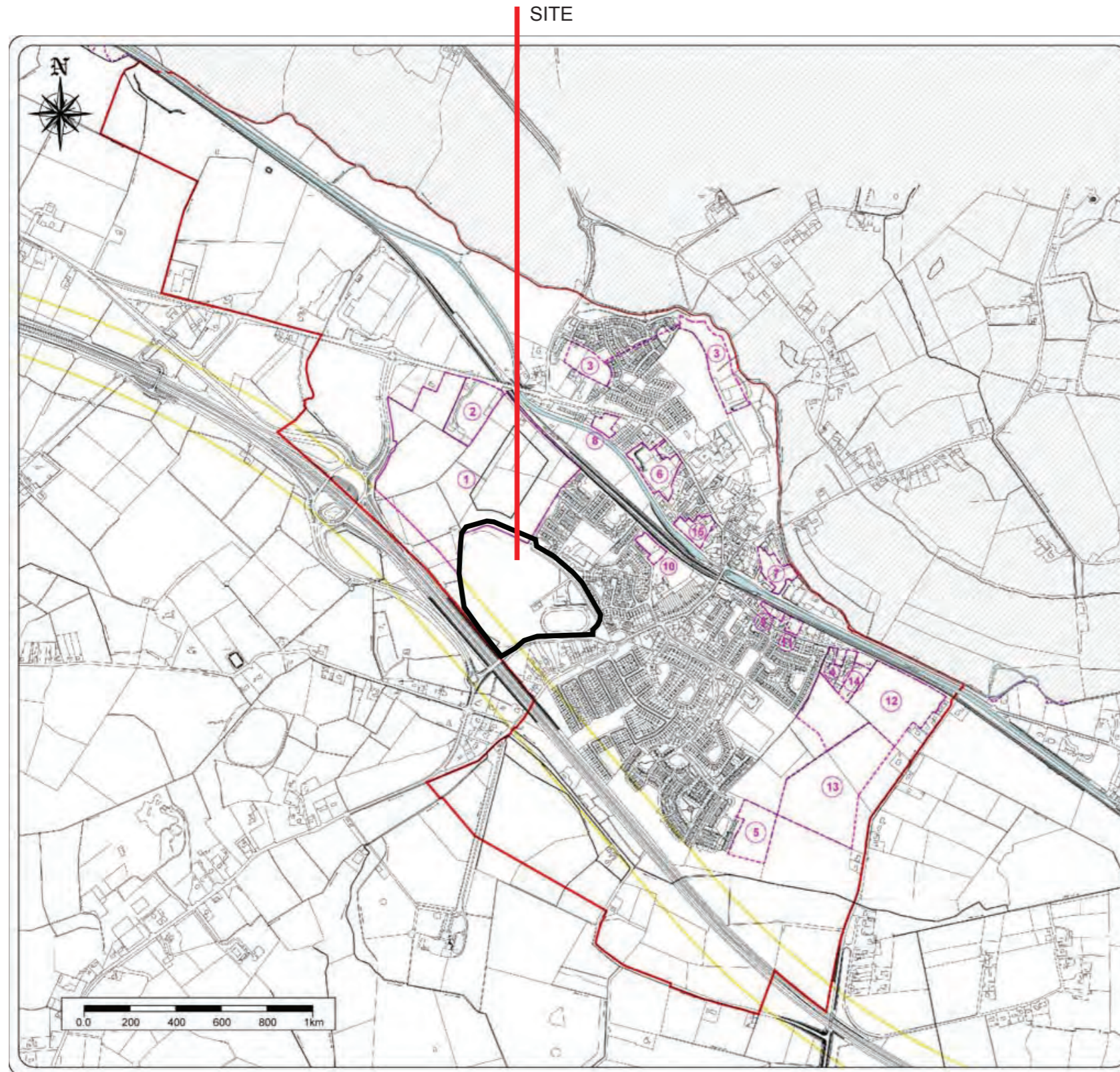



F OPEN SPACE & AMENITY

To protect and provide for recreation, open space and amenity provision.

The areas included in this zoning objective cover both private and public open space and are dispersed throughout the town. The aims of this land use-zoning objective include; to protect, improve and provide for recreation, open space and amenity provision; to protect, improve and maintain public open space; to preserve private open space and to provide recreational and community facilities. The Council will not normally permit development that would result in a loss of open space within the town except where specifically provided for in this Development Plan. Existing agricultural uses in open space areas will continue to be permitted, and reasonable development proposals in relation to this use will be considered on their merits.





Note:
 The building line of residential development shall be set back 91 metres from the Motorway, which is clearly identified in Map 7. Kildare County Council would support the planting of native woodland species within this zone.



 Kildare County Council
Planning & Economic
Development Department

Kilcock Local Area Plan
2015-2021
Adopted October 2015

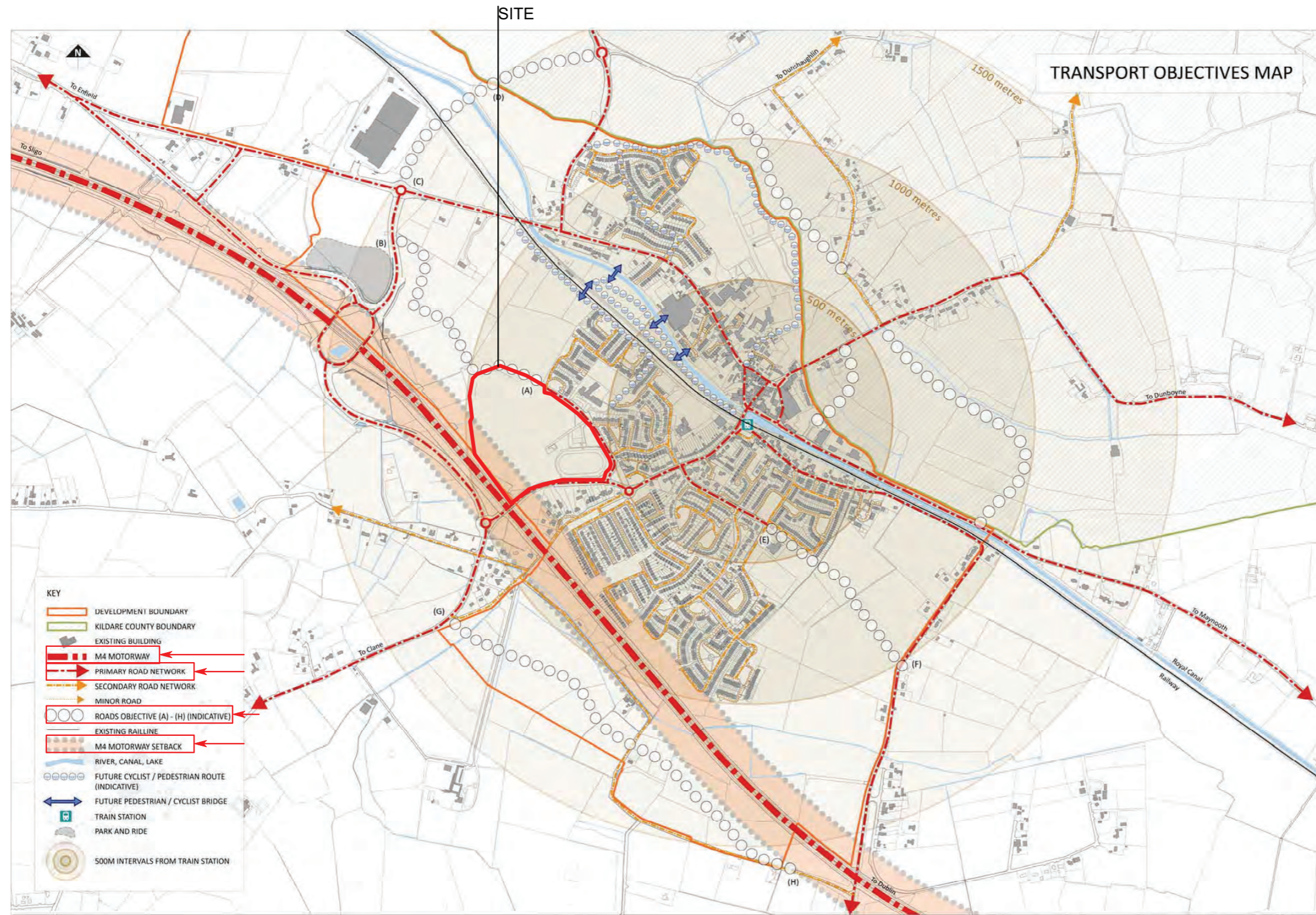
Legend :

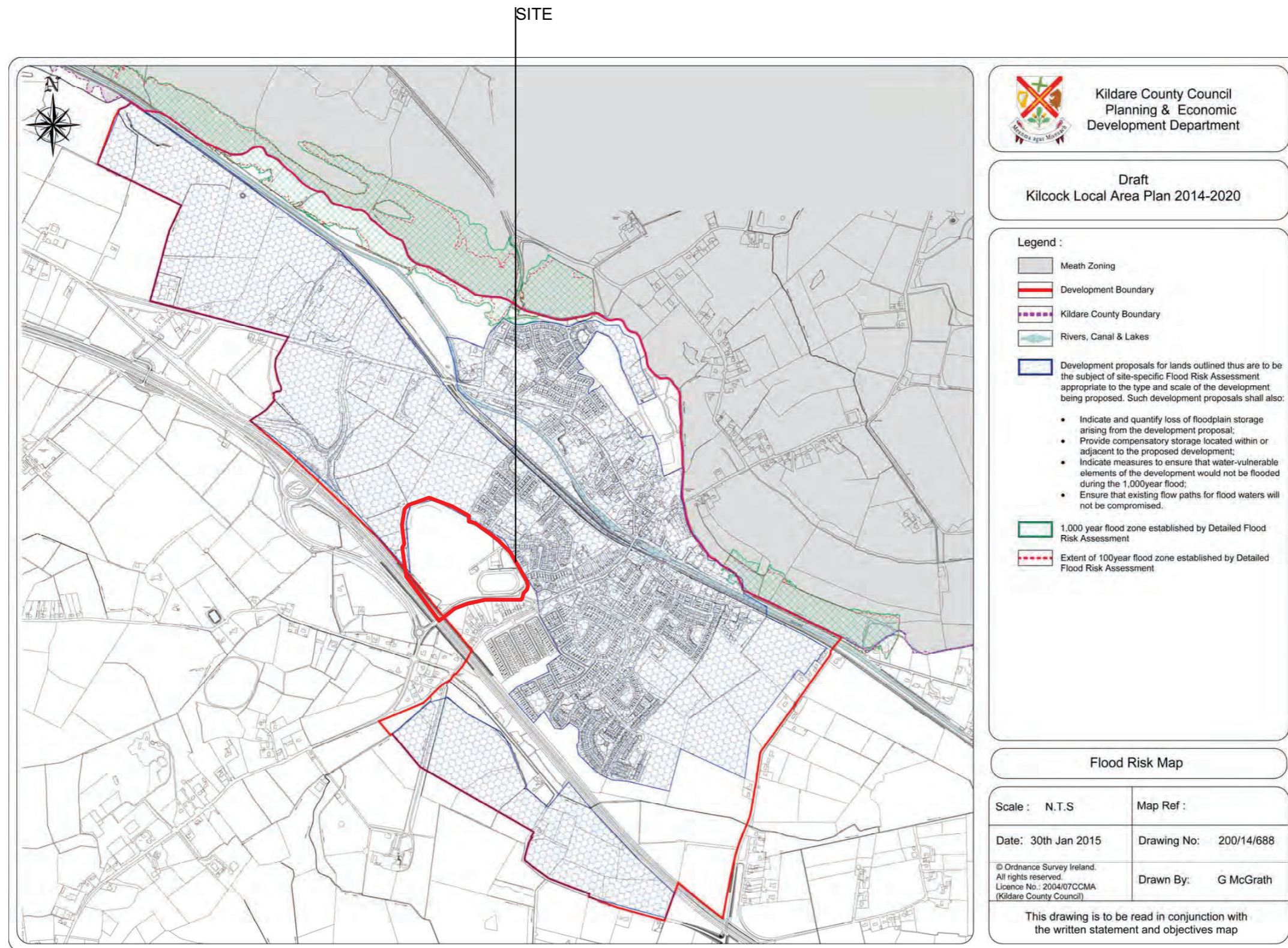
-  Development Boundary
-  Kildare County Boundary
-  Residential Sites
-  Rivers, Canal & Lakes

Location	Zoning	Site Size	Committed Units	Density	Unit Potential
Site ref 1	New Residential	23ha	N/A	30 per ha	690 units
Site ref 2	Existing Residential	2.8ha	39 units granted	N/A	39 units
Site ref 3	Existing Residential	4.1ha	181 units granted	N/A	181 units
Site ref 4	Existing Residential	0.2ha	4 units granted	N/A	4 units
Site ref 5	Existing Residential	1.7ha	N/A	25 per ha	42 units
Site ref 6	New Residential	2.2ha	N/A	30 per ha	66 units
Site ref 7	Town Centre	0.92ha	N/A	30 per ha	27 units
Site ref 8	New Residential	0.5ha	N/A	25 per ha	13 units
Site ref 9	Existing Residential	0.2ha	N/A	25 per ha	5 units
Site ref 10	Existing Residential	0.66ha	N/A	25 per ha	17 units
Site ref 11	Existing Residential	0.44ha	N/A	25 per ha	11 units
Site ref 12	New Residential	9.3ha	291 units granted	N/A	291 units
Site ref 13	New Residential	9.5ha	N/A	25 per ha	237 units
Site ref 14	New Residential	0.78ha	N/A	25 per ha	20 units
Site ref 15	Town Centre	1.0ha	59 units granted	N/A	59 units

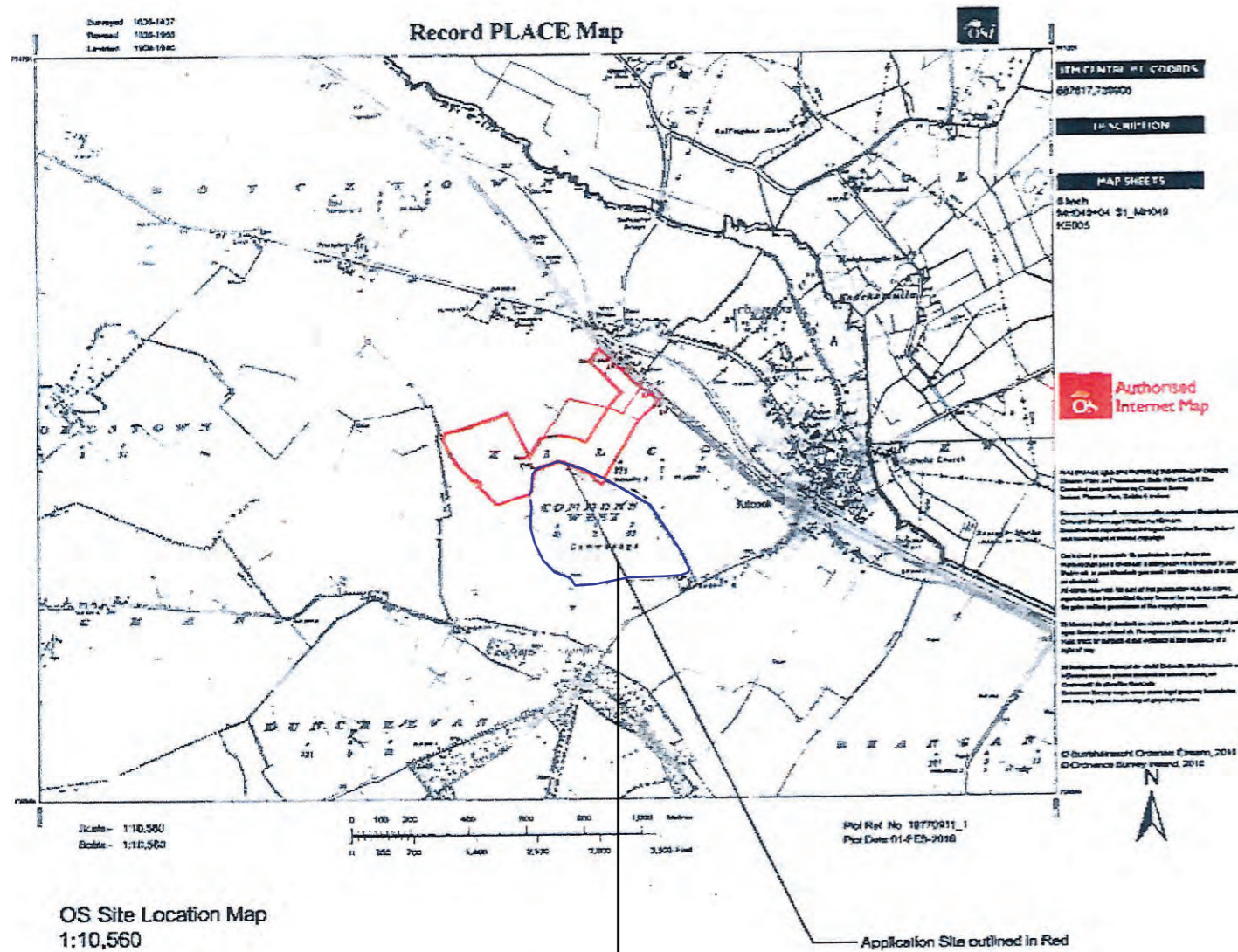






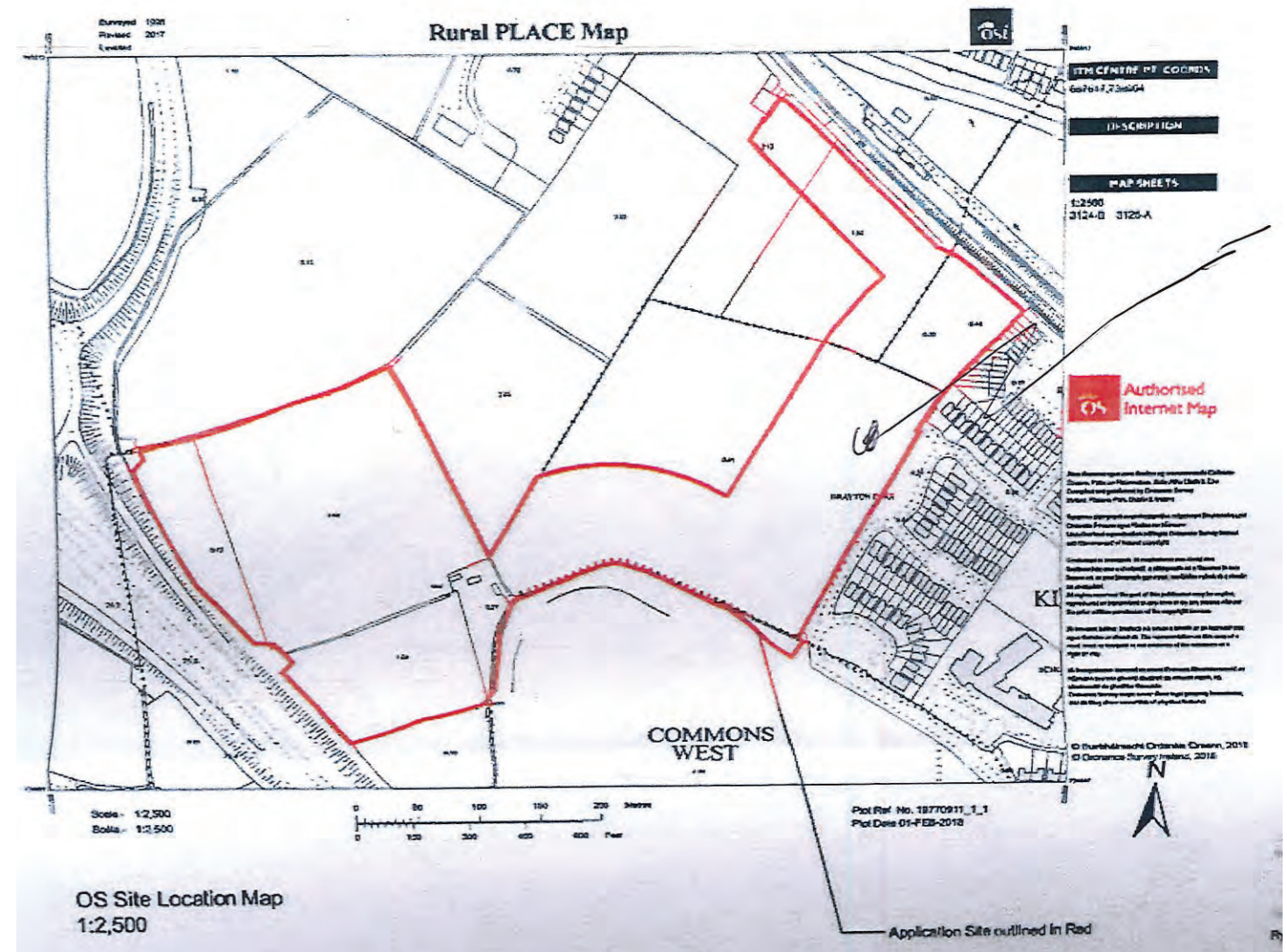


FUTURE RESIDENTIAL DEVELOPMENT IN BAWNOGUES

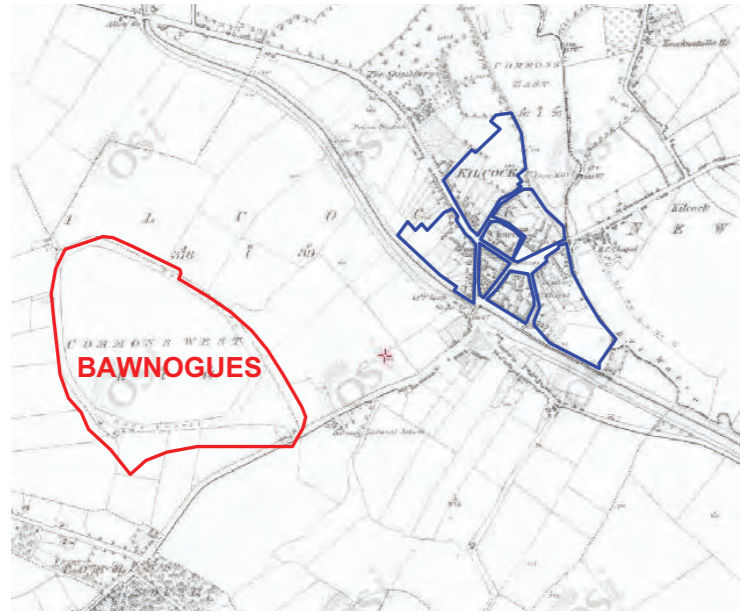


OS Site Location Map
1:10,560

BAWNOGUES



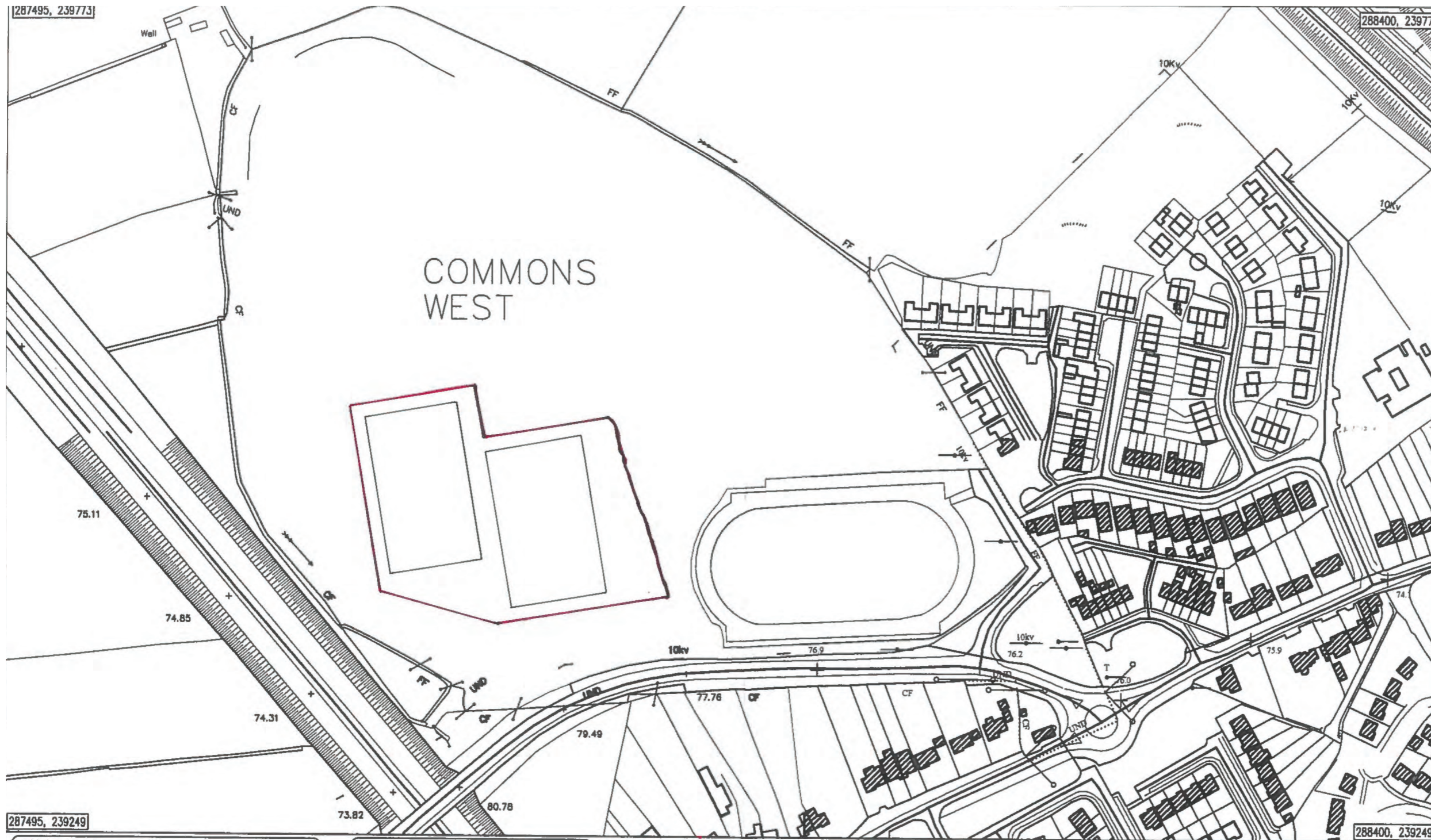
OS Site Location Map
1:2,500



KILCOCK ACA LOCATION



BAWNOGUES LEASE MAP & PITCH DRAWINGS




This is a Computer Generated Map (From Ordnance Survey Digitised Detail) And Refers To Area Edged In Red.

Scale: 1:2500 O.S.S. Ref: 3124-b,d, 3125-a,c
 Drawn: Mark Keating Tech. Date: 15 Feb '06
 Signed: *Mark Keating*

Site at Ban Og, Killock, Co. Kildare
 To Be Leased to Killock Celtic
 Area: 5.14 Acres (2.08 Hectares)

This Map was Plotted on 15/02/2006
 In Compliance with Ordnance Survey And Land Registry Plot Specifications
 By: Architectural Services Department
 Kildare County Council,
 St. Mary's,
 Naas,
 Co. Kildare



CENSUS 2018: KILCOCK

Extraction from Census 2016 Sapmap Area: Settlements Kilcock

http://census.cso.ie/sapmap2016/Results.aspx?Geog_Type=ST2016&Geog_Code=881A7E79-D5DF-4655-B7E8-828B7C8715FD

Census 2016 Usually resident population by place of birth and nationality

Location	Birthplace	Nationality
Ireland	4,745	4,988
UK	241	94
Poland	469	508
Lithuania	37	42
Other EU 28	218	217
Rest of World	328	144
Not stated	0	45
Total	6,038	6,038

Census 2016 Population by sex and marital status

Marital Status	Male	Female	Total
Single	1,676	1,778	3,454
Married (incl. same sex civil partnership)	1,141	1,136	2,277
Separated	56	79	135
Divorced	41	78	119
Widowed	25	83	108
Total	2,939	3,154	6,093

Census 2016 Population aged 15 years and over by principal economic status and sex

Principal Economic Status	Male	Female	Total
At work	1,482	1,355	2,837
Looking for first regular job	20	19	39
Unemployed having lost or given up previous job	124	120	244
Student	219	250	469
Looking after home/family	17	276	293
Retired	123	166	289
Unable to work due to permanent sickness or disability	42	59	101
Other	4	7	11
Total	2,031	2,252	4,283

Census 2016 Families, family members and children in families, by size of family

Size of family	Number of families	Number of persons in families	Number of children in families
2 persons	497	994	133
3 persons	371	1,113	440
4 persons	457	1,828	940
5 persons	198	990	601
6 or more persons	79	501	348
Total	1,602	5,426	2,462

Census 2016 Family units with children, by type of family and age of children

Age of children	Couples with children	Mothers with children	Fathers with children
Number of families			
All children under 15	685	104	4
All children 15 and over	178	79	13
Children both under and over 15	135	37	3
Total	998	220	20
Number of children			
All children under 15	1,366	147	6
All children 15 and over	307	114	19
Children both under and over 15	386	108	9
Total	2,059	369	34

Census 2016: Population aged 0 - 19 by sex and year of age, population aged 20+ by sex and age group

Age Group	Male	Female	Total
0	51	69	120
1	61	59	120
2	74	61	135
3	74	62	136
4	69	74	143
5	81	79	160
6	79	75	154
7	67	73	140
8	59	65	124
9	44	59	103
10	58	47	105
11	42	37	79
12	53	52	105
13	49	40	89
14	47	50	97
15	31	46	77
16	44	32	76
17	32	35	67
18	24	37	61
19	34	30	64
20-24	133	142	275
25-29	154	200	354
30-34	294	373	667
35-39	379	367	746
40-44	297	299	596
45-49	172	171	343
50-54	126	134	260
55-59	106	118	224
60-64	70	69	139
65-69	65	70	135
70-74	39	42	81
75-79	13	27	40
80-84	16	25	41
85+	2	35	37
Total	2,939	3,154	6,093

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05 EXISTING AND ADJACENT STRUCTURES





Aerial Photograph of Site



Photo 1



Photo 2

EXISTING BAWNOGUES FACILITIES

Facilities in existence on the Bawnogues site include an existing Soccer Pitch, an Athletics Track, and a childrens playground. It is proposed that the playground will be relocated as part of the development of the new community centre.

EXISTING BUILDINGS ADJACENT TO SITE

There are portacabins located beside the soccer pitch, to provide for changing facilities for Kilcock Celtic AFC. A container with storage and changing area for the athletics club is located adjacent to the athletics track, used by St. Cocas Athletics Club.

Both Kilcock Celtic AFC and St Cocas Athletics Club are represented in Kilcock Community Network, and have been consulted as part of the early design process.

As a result of these consultations, facilities have been incorporated into the community centre to cater for the needs of both clubs, including changing areas, (team and individual,) shower facilities, meeting rooms, and recreation areas.

PROPOSED PRIMARY CARE CENTRE

Erection of a two-storey community centre building with mezzanine, comprising a dual use indoor multi-purpose hall, stage and performance area, a range of meeting and conference rooms, wet and dry changing room facilities for indoor and outdoor associated sports and community uses, associated plant, storage, circulation areas, kitchen/café area and an upper floor multi-purpose room with projection room. The proposed building will be set within a landscaped area providing for a sensory garden, a civic plaza area, all with associated surface car parking of 4 no. car parking spaces, and 20 no. cycle parking spaces, bus/set down area, overflow car parking, bin stores, external signages, pedestrian linkages, connection to existing site services and development works, boundary and landscaping treatments. Existing playground to be relocated to provide new supervised playground.

PHOTOGRAPHIC REFERENCES

Photo 1: Existing Athletics Track (Adjacent to Community Centre Site)

Photo 2: Existing Temporary Accommodation for Kilcock Celtic AFC (Adjacent to Community Centre Site)

06 SITE ACCESS AND CIRCULATION



Table 3.1 – Public Transport Services

Service Provider	No.	Route	Frequency (two way)
Irish Rail	07	Dublin Connolly to/from Sligo	12 trains per day
	14	Grand Canal Dock to/from Longford	18 trains per day
Bus Eireann	115	Mullingar to/from Dublin	64 buses per day
	115C	Mullingar to/from Kilcock	4 buses per day

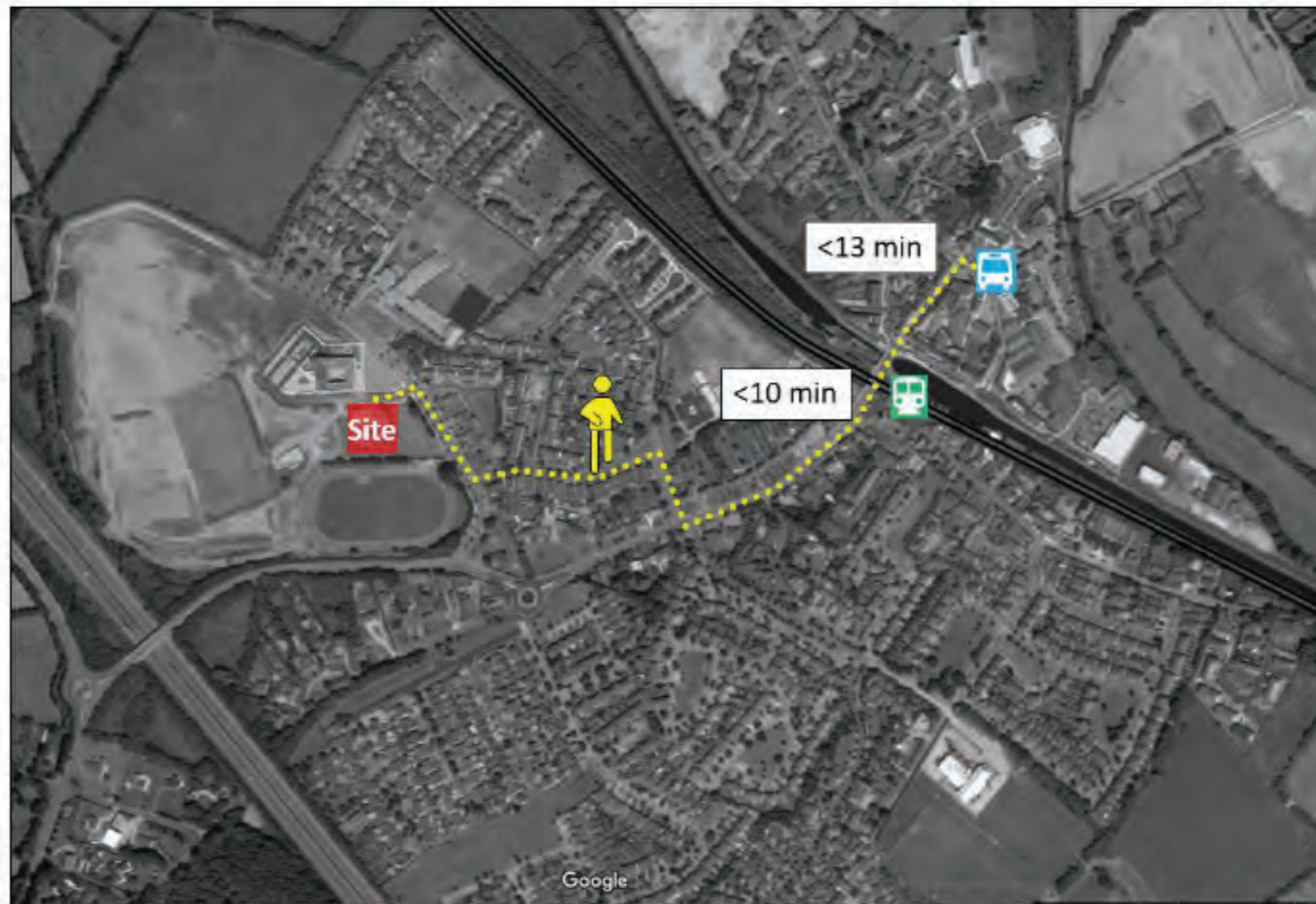


Figure 3.3 – Location of Public Transport

GENERAL ACCESS TO BAWNOGUES

The existing track located on the application site is subject to future realignment with a new entrance from Brayton Park, as indicated on the site layout drawings.

This realignment was approved by Kildare County Council under Planning Application Ref. No. 13846, for the new Primary Care Centre, to the north of the subject site. The access to the new Community Centre will be via this new shared access roadway. The site layout of the new community centre is designed to frame a new civic space at the bawnogues entrance, and to create a gateway to the greater Bawnogues site.

Pedestrian Accessibility

Due to the size of Kilcock the majority of the town is accessible from the site within a 30-minute walk.

This is presented in Figure 3.1. This includes the four schools located within Kilcock all of which are located within a 20-minute walk.

Cyclist Accessibility

A 10-minute cycling catchment encompasses the Kilcock town and environs as presented in Figure 3.2.

It can be seen the majority of schools are within a 5-minute cycle from the community centre.

Public Transport Accessibility

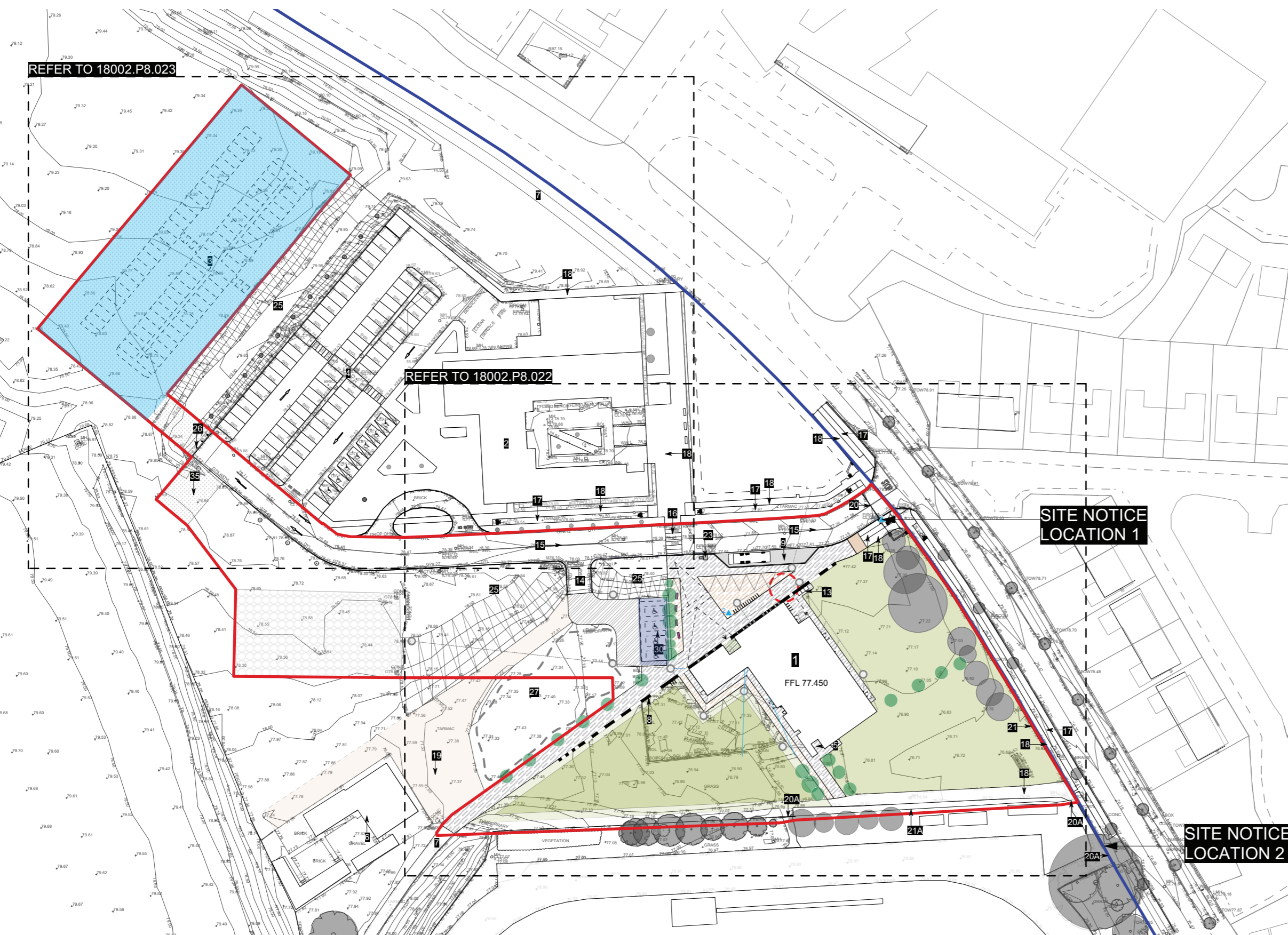
There is limited public transport accessibility with the following services presented in Table 3.1.



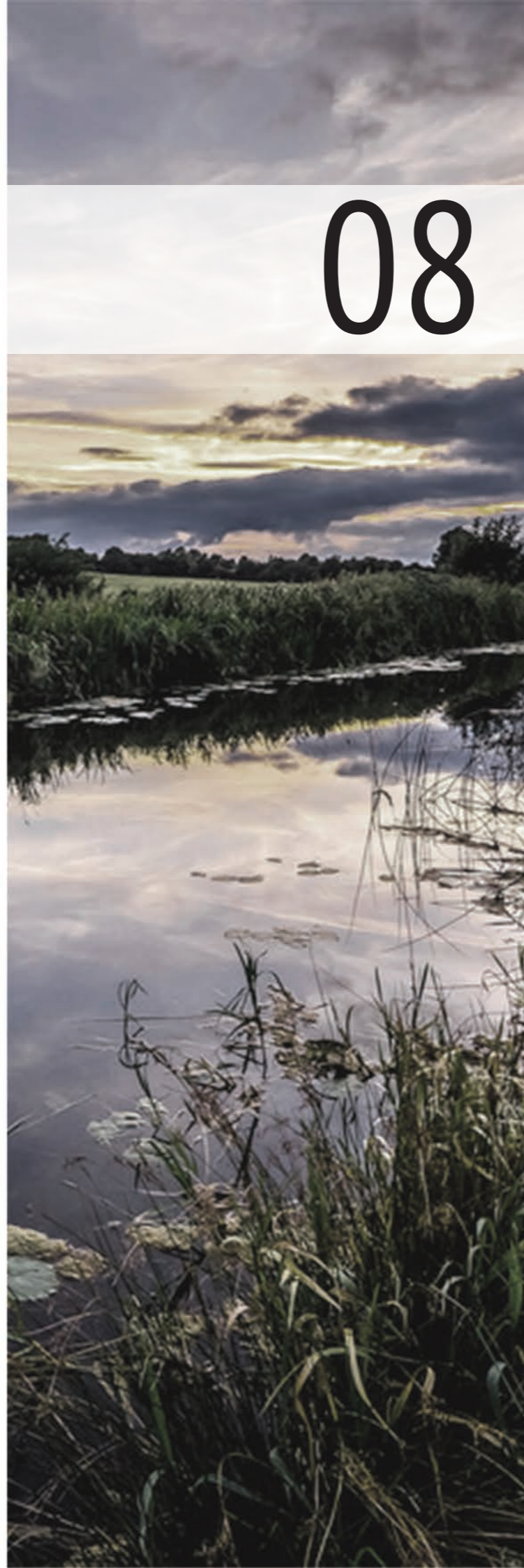
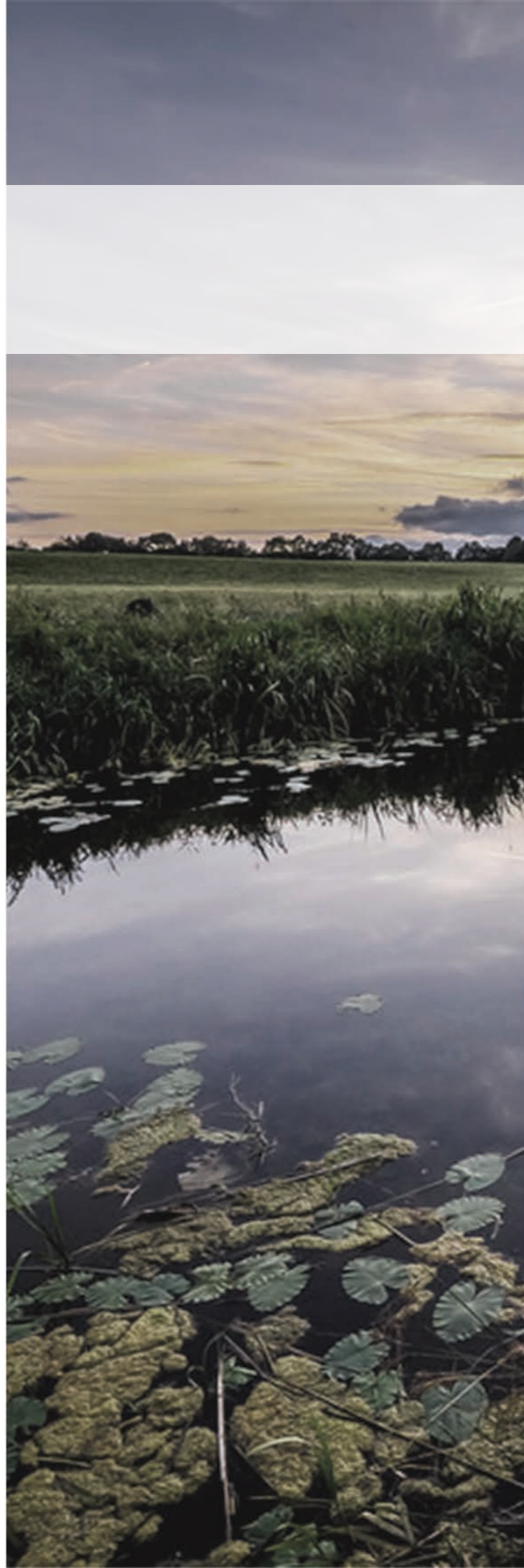
07 PARKING

Please refer to traffic consultant's report.

- Proposed car park
- Future overflow park



08 SUSTAINABILITY



INTEGRATED DESIGN APPROACH

Sustainability is not a layer which can be applied successfully to an already designed building. We have analysed the building throughout the development of the proposal, under the following headings, allowing the analysis to inform the evolving design;

- Site, including how this informs the layout, & generates external spaces.
- Location
- Linkages / Transport
- Masterplan
- Habitat / Flora & Fauna
- Future Potential of Site & Context

MICROCLIMATE ANALYSIS

The site layout, including the relationship with the proposed Primary Care Centre, has been generated from a detailed study of the following non exhaustive list of items;

- Orientation
- Sunpath / Passive Solar Gain - Prevailing Winds / Shelter
- Overshadowing

These informed the layout of the buildings, where we take a passive house design approach, locating the cellular and services elements on the north of the plan, with open plan elements located to the south.

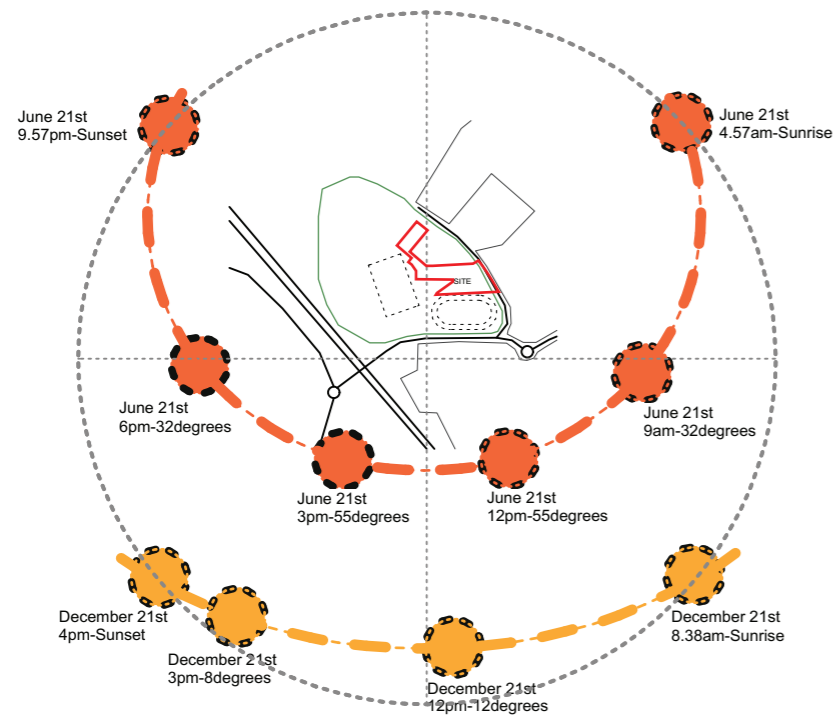
ENERGY CONSERVATION

The first principle of energy conservation is to lay out the building to optimise solar gain, with larger glazed elements to the south, and smaller elements to the north. A highly insulated building fabric, in excess of the requirements of Part L, and an airtight construction, with optimal natural lighting and natural ventilation are the basis for reducing the demand for energy in the first instance.

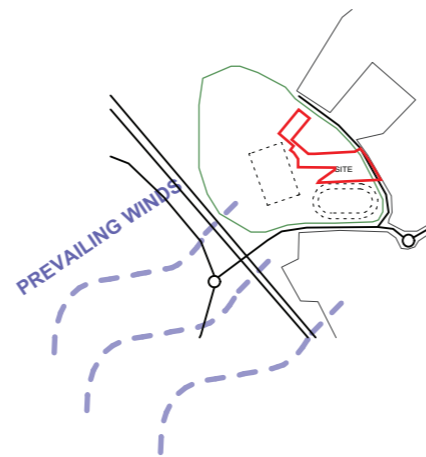
BUILDING ENERGY RATING

It is proposed that the building will achieve an A3 Building Energy Rating.

SUN PATH



PREVAILING WIND





Concept/3D Visualization

NATURAL VENTILATION

The building is designed to utilise controlled natural ventilation, with opening windows, and stack effect natural ventilation to opening rooflight, to provide a building with healthy air. User control of their spaces is encouraged, with openable windows provided, and minimal Building Energy Management System (BEMS) input.

NATURAL LIGHTING

Glazing is positioned and specified to reduce the need for artificial lighting, providing a healthier building, with a lower energy demand. The use of full height windows, to ceiling, enables sunlight to penetrate deep into the plan of the building.

PRIMARY ENERGY STUDY

At early design stage, a Primary Energy study was conducted to establish the optimum heating provision. This included comparison of the following systems;

- Air Thermal Heat Pump
- Geothermal Heat Pump
- Biomass Boiler & Solar
- Natural Gas Boiler & Solar - Oil Boiler & Solar

It was concluded that the Air Thermal Heat Pump was the desired option, with a savings payback period of approx 9 years on the initial capital investment required.

Refer to Bernard Smith Consulting Engineers Report for further details.

WATER USE

The objective in the design of the centre is to minimise water usage, approaching as close as possible to Net Zero Water. To do this we propose to use grey water harvesting and recycling from the upper roof level. The water will be collected in a tank over the stage store at high level, where it will be filtered and treated, and can then be gravity fed to the cisterns of WC's around the building.

The building has been designed with consideration for the impact of water on the ecology of the area. External soft and hard landscaped surfaces will be treated with Sustainable Development Systems (SuDS) principles, replicating the natural process of surface water processing.

BEAUTY

The Beauty of the proposal lies in the spirit of the design, responding to thorough analysis of the People, Places, and Processes involved, creating a healthy, civilised, democratic, and identifiable centre for the community of Kilcock.

The detail design and materiality are considered and will be presented with an clarity about how they are assembled, and honest expression of their functionality.

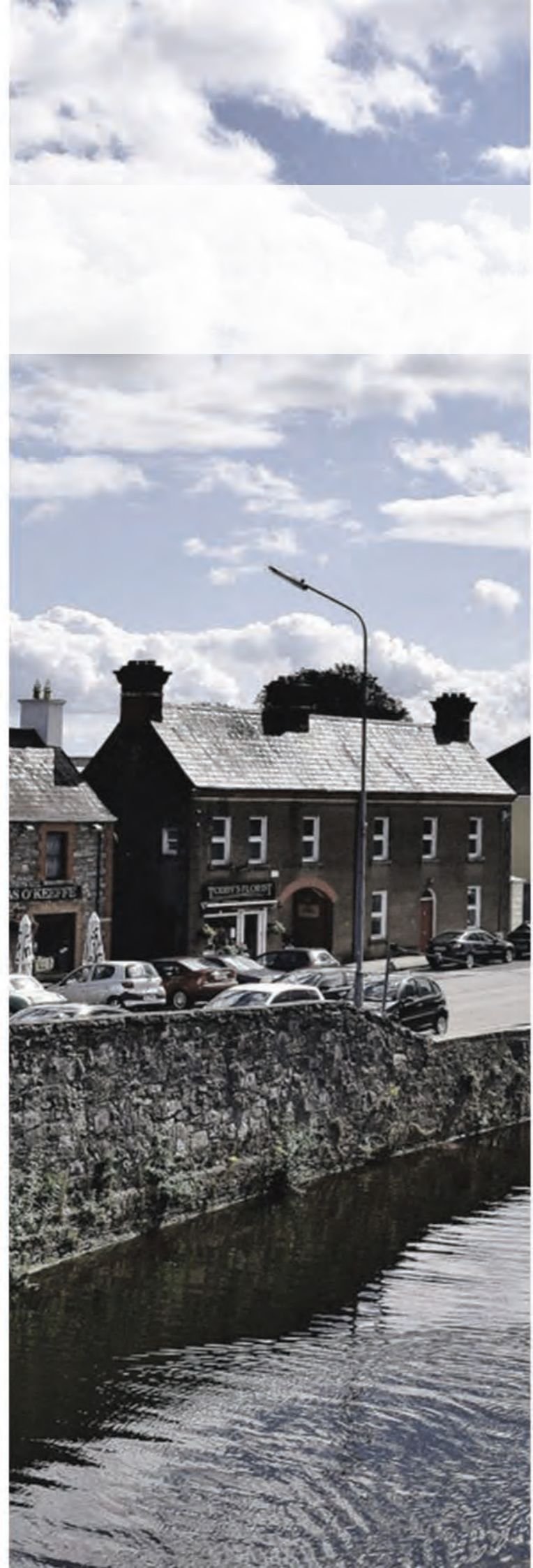
The democratic nature of the design process;
needs,"

"identifying the needs of each user and responding to their has led to a centre which has responded to many diverse users individual needs, providing an identifiable centre for the community of Kilcock.

LIFE CYCLE

The life cycle of the centre is considered throughout the design process, to provide a centre which gives exceptional value for money. The multifunctional nature of the main spaces in the centre allow for huge flexibility, for future adaptability, developing technology, and changing social demographics.

The building will be assembled for ease of construction, and future deconstruction, with materials specified considering their durability, life span, and future recyclability.



09 MATERIALS

The building is designed, with durable, robust, long life, and recyclable materials specified. It is our intention to analyse the materials of the building under the following headings;

- Red List
- Embodied Carbon Footprint - Responsible Industry
- Appropriate Sourcing
- Conservation + Reuse

RENDER/EXTERNAL BLOCKWORK

Render and external brickwork are chosen for the facade of the building, reflecting the need for a high quality finish to an important civic building.

GLAZING

Natural Ventilation, Passive Solar Gain, and Thermal Control play an important part in the overall sustainable strategy for the community centre. Specialist double or triple glazing is proposed for the community centre, with suitable glazing for each facade.

CONCRETE

Concrete is an important structural element in the building. It is also an important element in increasing the thermal mass of the building, with provision also for night time cooling.

TIMBER

As part of an holistic approach to design and materiality, timber gates and screens are considered in the landscaping proposal. The use of natural timber will aid in reducing CO2 emissions, as trees naturally absorb Carbon Dioxide, and emit Oxygen as they grow.

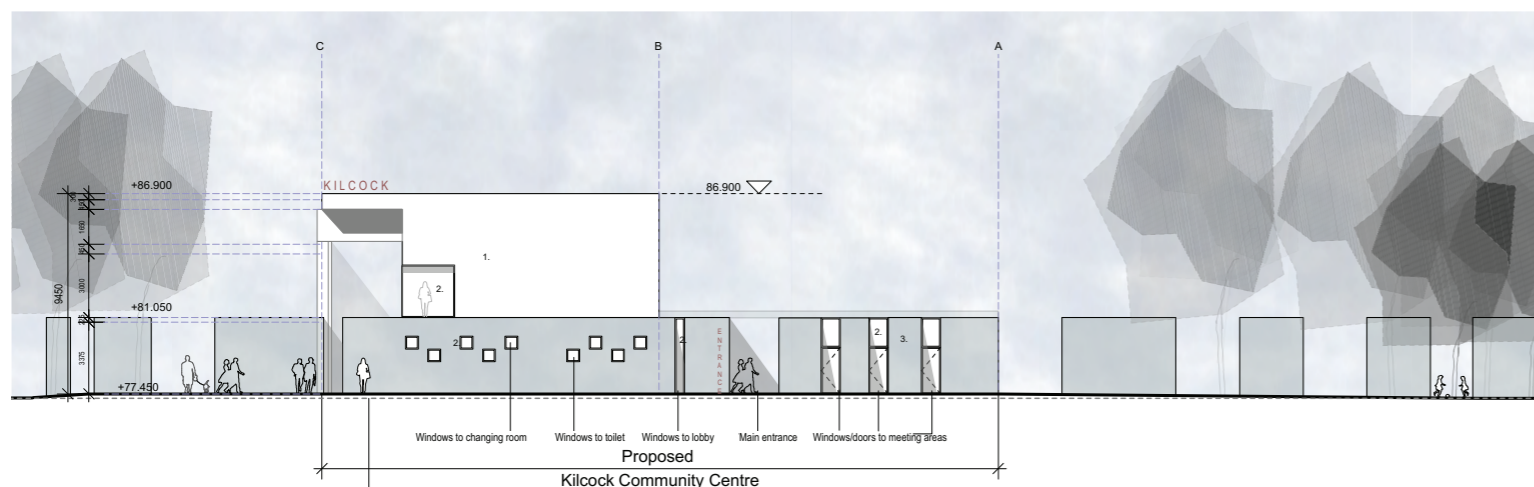
Timber is a natural CO2 sink, retaining the CO2 it absorbs during its lifetime.

It is proposed to use timber to internal elements of the building also.

ROOF

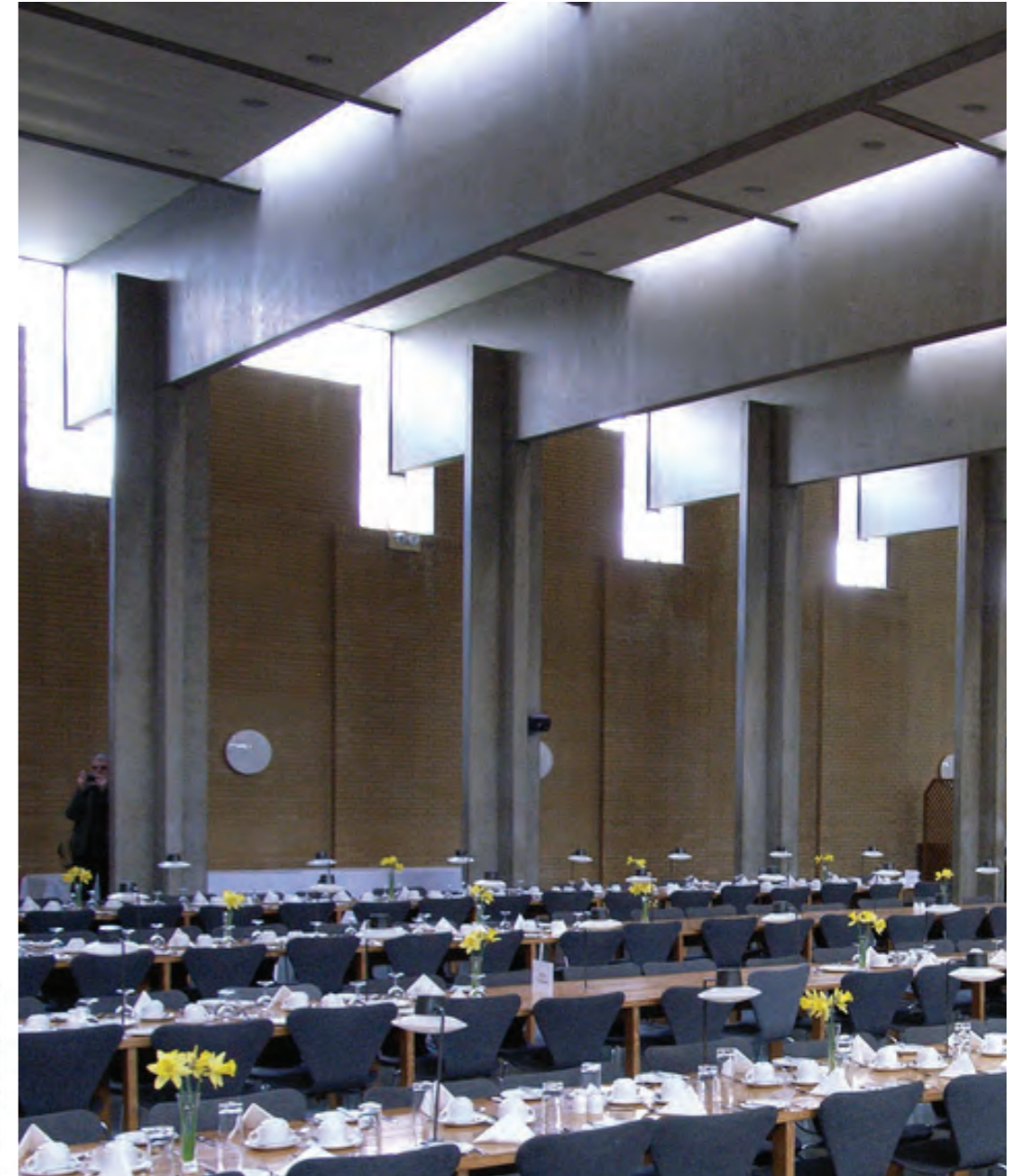
It is proposed to use a flat roof, with robust detailing and highly insulated fabric.

 Proposed Elevation




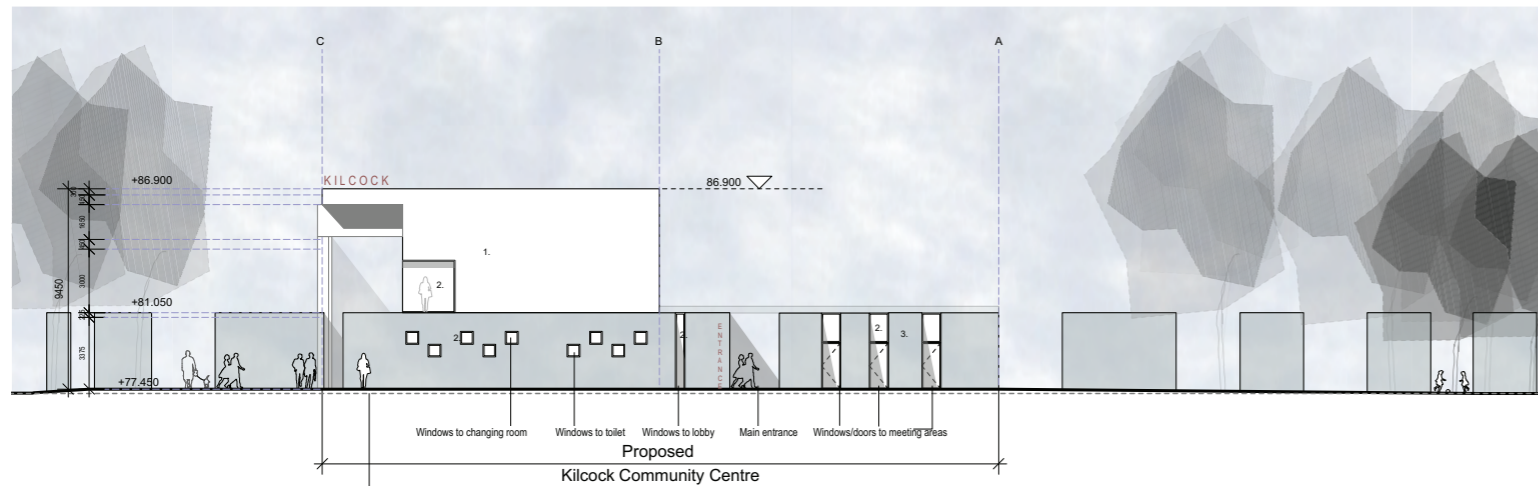


PROPOSED BLOCKWORK PLINTH



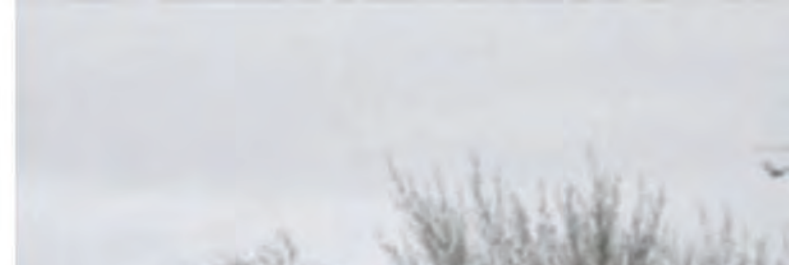
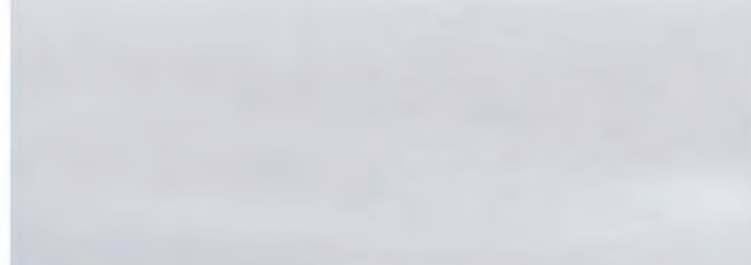
PROPOSED CONCRETE BEAM & COLUMN

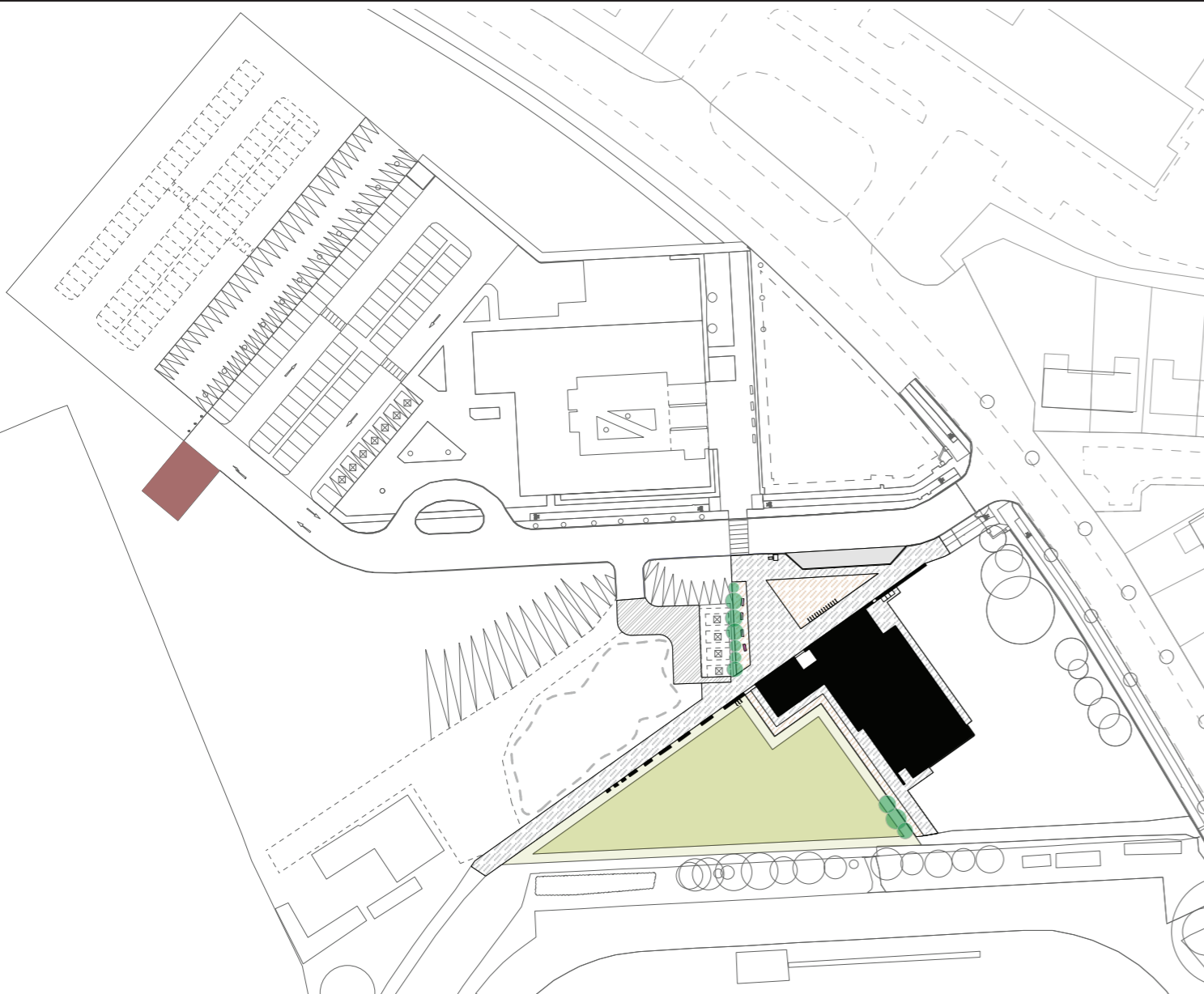
 Proposed Elevation



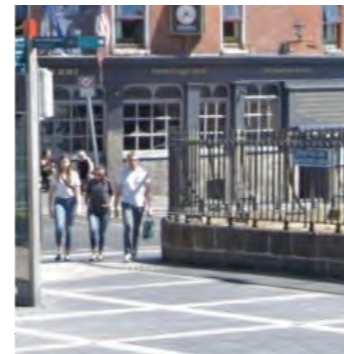
PROPOSED RENDER/TEXTURE

10 LANDSCAPE

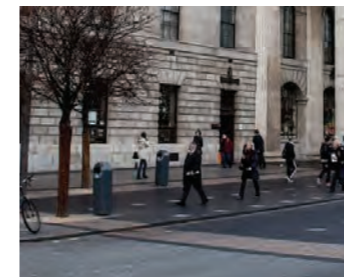




Plaza & Footpath
1700x450mm limestone paving slabs
content to architect's approval



Set-Down Pavement
Hard surface Color: Grey



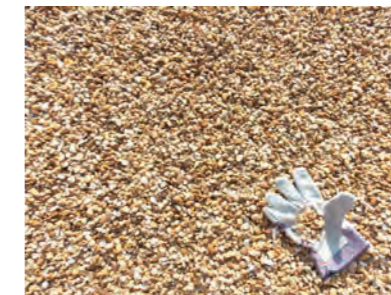
Turning Circle Area
Gravel



Bench
Concrete Numbers: 4 Color: Grey



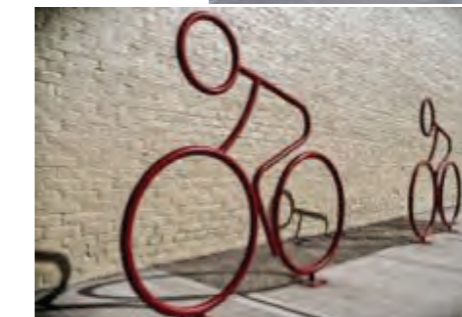
Plaza & Footpath
Gravel Color: Brown



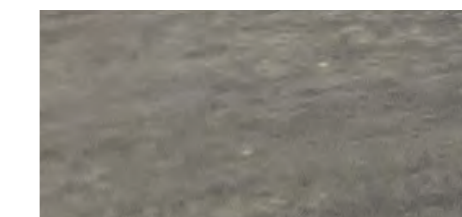
Apple tree No.10



Bike Stand
Numbers: 18
Type: 6 standard bike stand Color: Black
1 letters shape stand Color: Orang



Tarmac Surface Road
Tarmac Color: Grey



Playground
Sand/Bark/Soft Paving Finish



TOPOGRAPHY & CONTEXT WITHIN BAWNOGUES

The landscaping of the site has been considered in the context of the Bawnogues site, taking into account its topography and openness, existing flora and fauna and environmental conditions, including microclimate, sunpath, and creating of civic spaces.

LANDSCAPING PLAN

Please refer also to the Landscape Plan, PP-900, which includes for the provision of tree along roadways, and within the car parking area.

Decorative Grasses are proposed for planting locally around civic spaces, and in enclosed courtyards.



11 EXISTING SITE SERVICES



REFER TO CIVIL ENGINEER'S REPORT

General Description

The proposed development is sited at Bawnogues, Commons West, Kilcock, Co. Kildare. The proposed development is a community centre which will include a sports hall and meeting room.

Scope of this Report

This report documents the proposed civil aspects required for this development. It contains information regarding the connection of the development to the existing public infrastructure serving the area. Most notably, the foul and surface water drainage systems, the water supply system and flood risk aspects are covered.

Existing Site Services

There is an existing surface water network on the site which includes an underground attenuation tank. The pipe sizes range from Ø225mm to Ø300mm before entering the attenuation tank which has a volume of 750m³ based on information produced by Kildare County Council and Punch Consulting. The surface water sewer then connects to a series of drainage ditches before finally discharging to culvert located adjacent to the M4 motorway.

There is an existing Ø150mm foul sewer that runs adjacent to the site. This sewer follows the Brayton Park road and connects back into the Kildare County Council sewer at the Courtown Road Roundabout. The existing flow in the sewer is 0.5l/s based on the existing information from an RFI as part of planning application 17/743. The existing capacity of the Ø150mm foul sewer is 12.6 l/s which would leave 12.1 l/s of capacity for new development.

Surface Water Drainage System

Basis of Design

- BS EN 752:2008 "Drainage and Sewer Systems Outside Buildings"
- Building Regulations Part H
- EPA Wastewater Treatment Manual 'Treatment Systems for Small Communities, Business, Leisure Centres and Hotels'.

General

The surface water drainage design philosophy has been prepared in accordance with the

- requirements of the following technical design documentation:
- The Greater Dublin Strategic Drainage Study (GSDSDS)
 - EN 752 – Gravity Drainage Systems outside Buildings
 - Ciria Report C697 – The SUDS Manual

It is proposed to construct a new separate surface water drainage system for the site. This will collect runoff from roofs, roads and paved areas (Refer to proposed site services layout drawing 067368-CUR-00-XX-DR-C-90002).

All roads, hard standing areas and roof runoff will flow directly to a stormwater attenuation system.

All roads and hard standing areas will have conventional positive drainage systems with longitudinal and horizontal falls with gradients sufficient to allow any rainfall runoff to be collected using road gullies and kerbs or channels.

Foul Drainage Infrastructure

General

The foul drainage design philosophy has been prepared in accordance with the requirements of the

following technical design documentation:

- BS EN 752:2008 "Drainage and Sewer Systems Outside Buildings"
- BS EN 12056-2 2000 "Gravity Drainage Systems Inside Buildings"
- Building Regulations Part H
- EPA Wastewater Treatment Manual 'Treatment Systems for Small Communities, Business, Leisure Centres and Hotels'.

Flood Risk Assessment

General

A Stage 1 Flood Risk Identification has been carried out for the site. This task was undertaken taking cognisance of the guidance given in the Office of Public Works (OPW) and Department of Environment, Heritage and Local Government (DEHLG) document "The Planning System and Flood Risk Management" (2009).

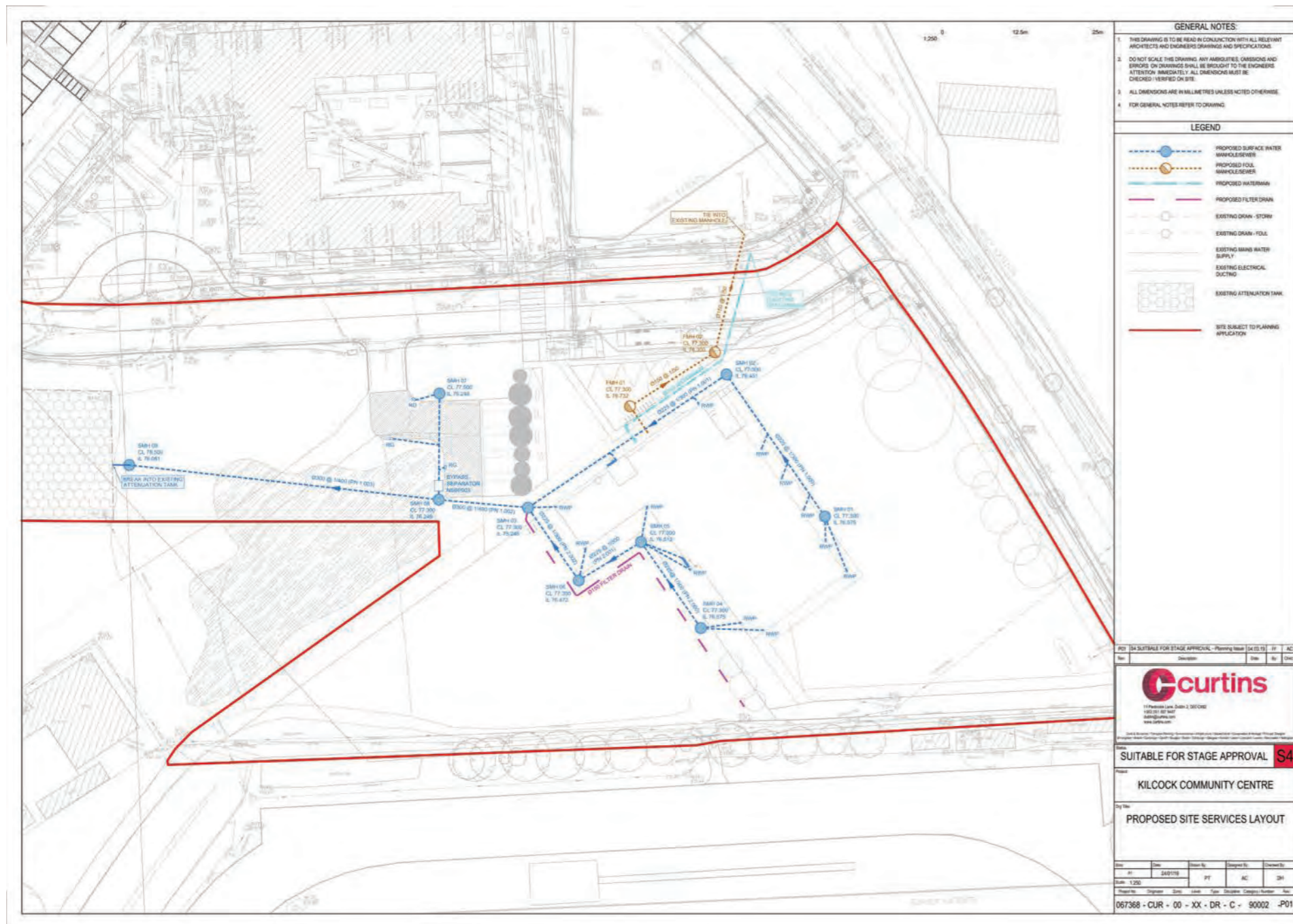


Figure 1 Existing Public Surface Water and Foul Drainage

There is existing ducting running in parallel with the internal site road which currently serves the Primary Care Centre (PCC). The ducting runs to the existing substation located in the PCC.

12 PROPOSED SITE SERVICES





Proposed Site Services

REFER TO CIVIL ENGINEER'S REPORT

Proposed Foul Drainage System

The main foul network will tie into the existing Ø150mm foul sewer that currently serves the Kilcock Primary Care Centre located adjacent to the proposed development. Foul drainage from the development will be generated by toilets, wash hand basins, showers, sinks and floor drains. Refer to drawing 067368-CUR-00-XX-DR-C-90002 for proposed layout of foul drainage network.

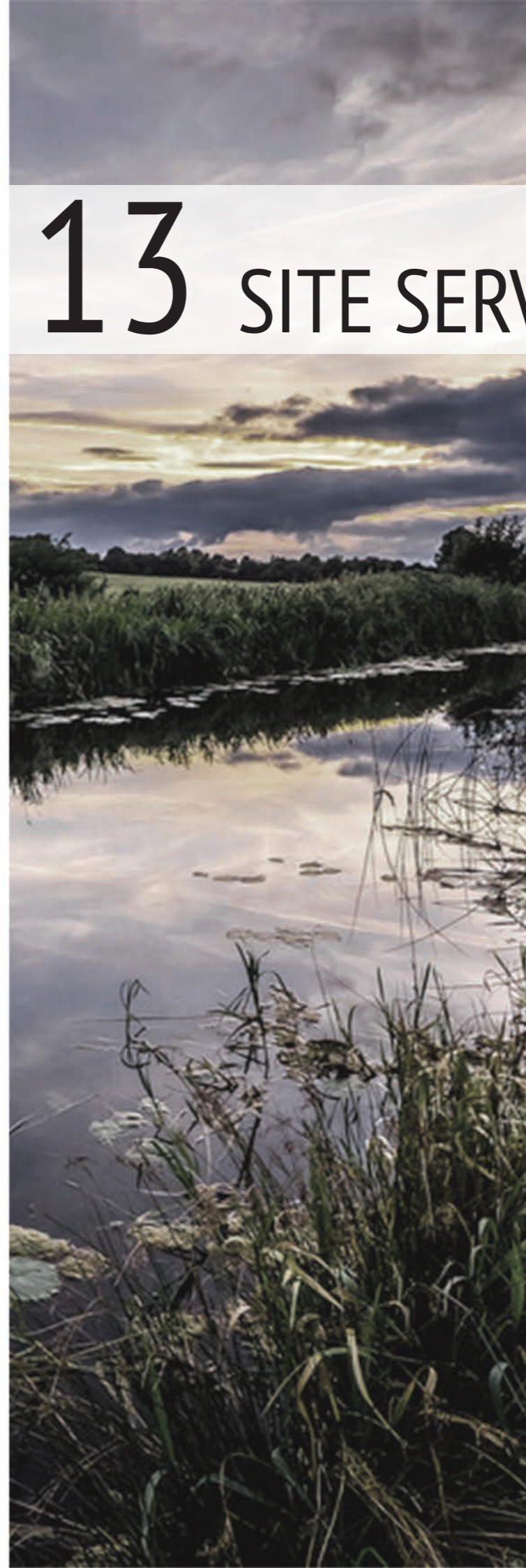
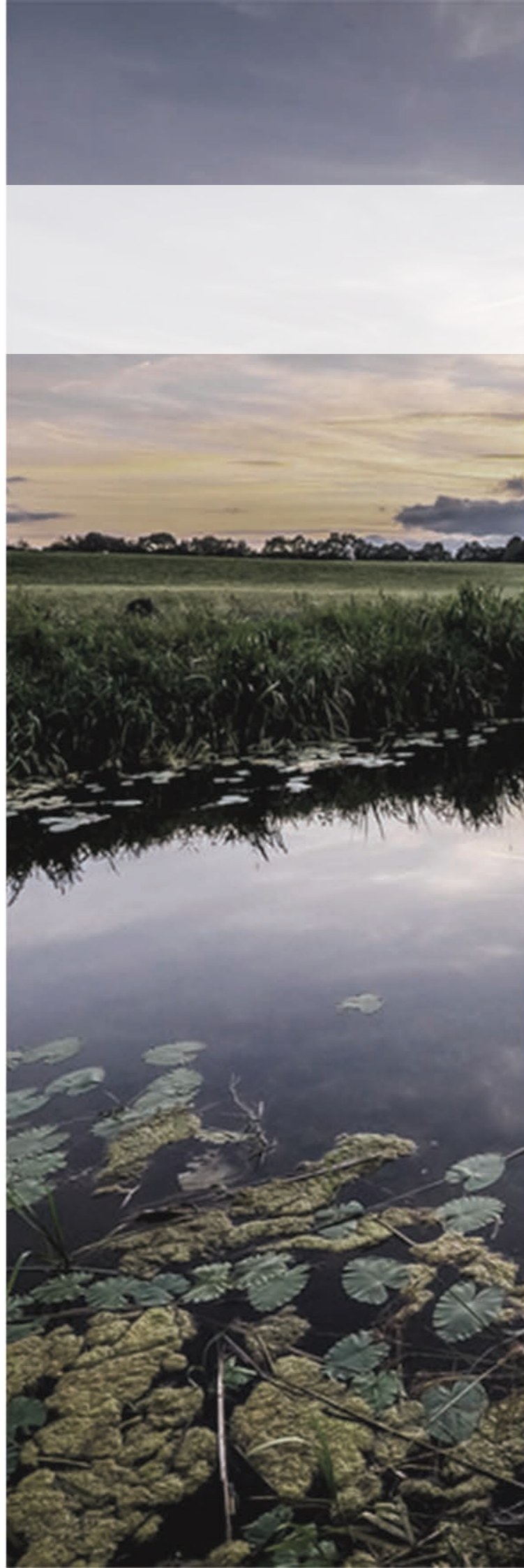
Surface Water

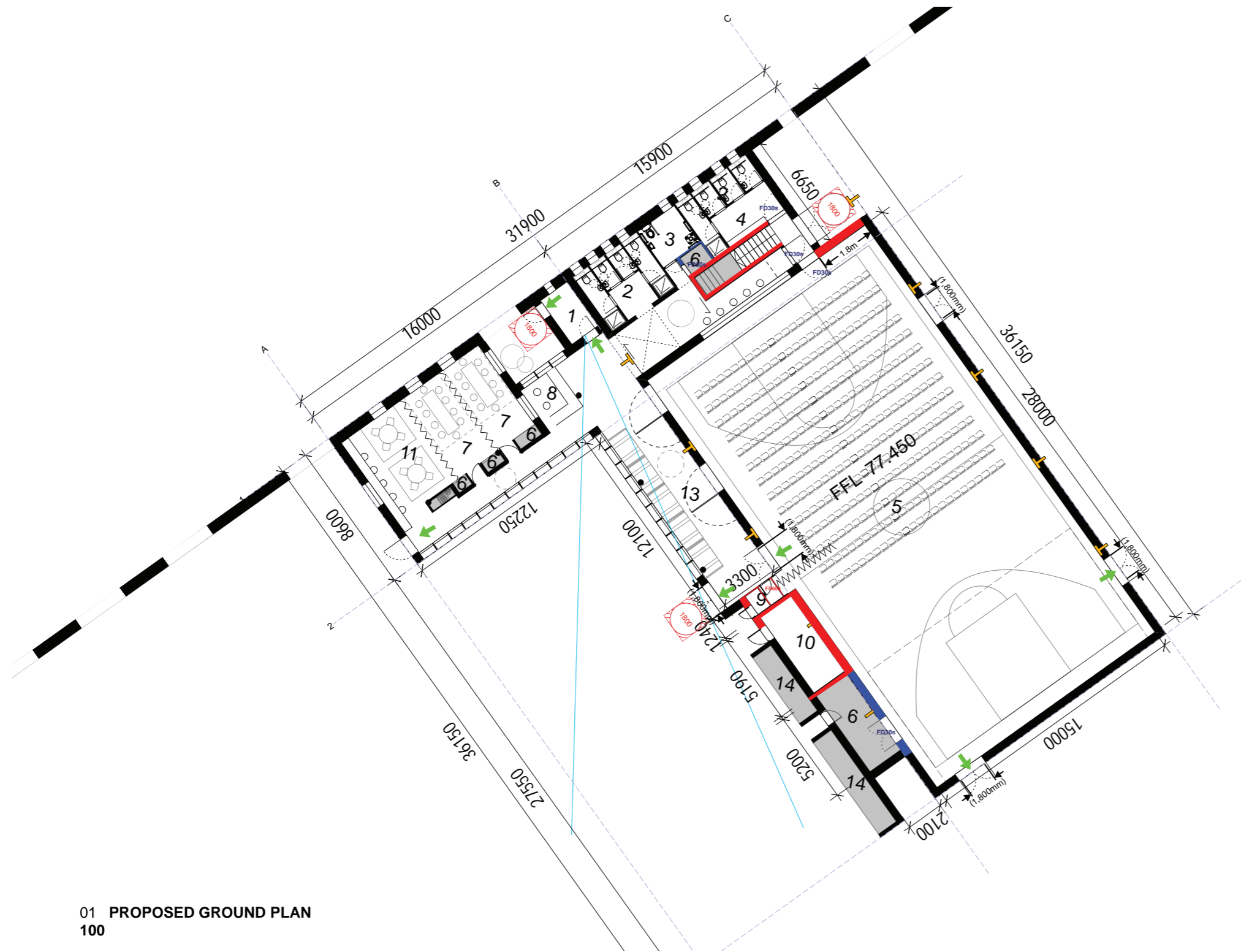
- The calculations refer to the surface water drainage network shown on drawings included in Appendix 2
- The surface water pipe network has been designed with MicroDrainage "WinDes" computer software
- Local rainfall data has been used for this model.
- The pipe network has been sized to accommodate a 1 in 2 year return period storm event in compliance with the requirements of EN 752.
- A pipe roughness co-efficient of (ks) 0.6 has been assumed for surface water drainage pipes.
- Th system has been checked in order to ensure that the network does not flood during the in 100 year event.

Foul Drainage

- The proposed foul drainage to discharge to the existing foul drainage system serving Kilcock Primary Care Centre which outfall to the Kildare County Council foul drainage network.
- A pipe roughness co-efficient of (ks) 1.5 has been assumed for foul drainage pipes.
- Foul network based on latest architectural layout.
- Based on the layout, it is assumed that there will be 7 no. toilets, 7 no. wash hand basins, 3 no. showers and 2 no. floor drains

13 SITE SERVICES - FIRE/DAC





Fire Safety & Access Strategy Legend

- █ Compartment Wall/ Partition achieving 60 minutes fire resistance for load-bearing capacity, integrity and insulation when tested to BS 476: Part 21/22.
- █ Wall/Partition achieving 30 minutes fire resistance for load-bearing capacity, integrity and insulation when tested to BS 476: Part 21/22
- █ **FD60s** 60 minute fire resisting door set when tested to BS 476: Part 22. 'S' denotes smoke seals with a leakage rate of $\lt; 3\text{m}^3/\text{hour}$ at 25Pa.
- █ **FD30s** 30 minute fire resisting door set when tested to BS 476: Part 22. 'S' denotes smoke seals with a leakage rate of $\lt; 3\text{m}^3/\text{hour}$ at 25Pa.
- ➔ Maintained emergency exit sign in accordance with IS 3217:32013 + A1:2017
- 1800 Clear space with minimum dimensions of 1,800mm

LEGEND

1. Lobby
2. Toilets
3. DAC Toilet with shower
4. Changing Room
5. Multi-purpose Hall
6. Storage
7. Meeting Room
8. Reception
9. Electric/Plant Room
10. Plant Room
11. Kitchen/Cafe/Dining
12. Multi-purpose Room
13. Informal meeting area
14. External storage area/zone
15. Green Room (Projection)

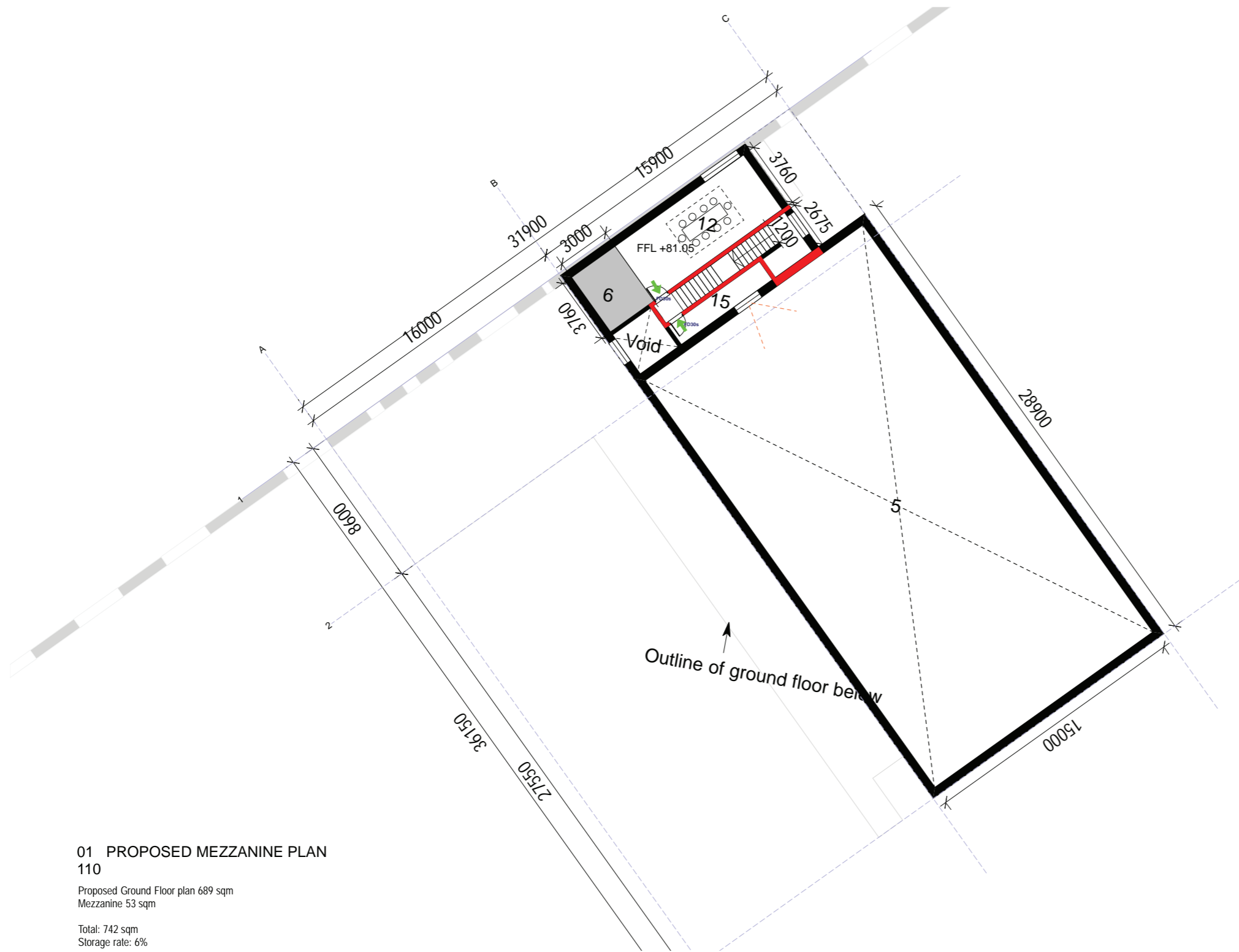
VEHICLE ACCESS

The required fire tender access to the building is at a rate of 2.4m in length for every 90m² of ground floor area which gives a total of 18.5m required access. This should be easily achieved from the access road.

HYDRANTS

As the building footprint is under 1,000m², a dedicated hydrant is not required.

01 PROPOSED GROUND PLAN
100



Fire Safety & Access Strategy Legend

- █ Compartment Wall/ Partition achieving 60 minutes fire resistance for load-bearing capacity, integrity and insulation when tested to BS 476: Part 21/22.
- █ FD30s 30 minute fire resisting door set when tested to BS 476: Part 22. 'S' denotes smoke seals with a leakage rate of <math>< 3m^3/hour</math> at 25Pa.
- ➔ Maintained emergency exit sign in accordance with IS 3217:32013 + A1:2017

LEGEND

1. Lobby
2. Toilet
3. DAC Toilet with shower
4. Changing Room
5. Multi-purpose Hall
6. Storage
7. Meeting room
8. Reception
9. Electric Room
10. Plant Room
11. Kitchen
12. Multi-purpose Room
13. Informal meeting room
14. External storage area/zone
15. Green Room (Projection)

01 PROPOSED MEZZANINE PLAN
110

Proposed Ground Floor plan 689 sqm
Mezzanine 53 sqm

Total: 742 sqm
Storage rate: 6%

ACCESS

The only non-wheelchair accessible area of the building is the first floor. This should not be an issue, as there are meeting areas on the ground floor and the first floor has a floor area less than 200m². The building would not require a lift.

ON-SITE PARKING AND SET DOWN

There will be no parking provided for the building. Occupants using the building will park at the neighbouring HSE Primary Care Centre located on the same site. There will be a level path provided from the parking to the building entrance.

AMBULANT STAIR

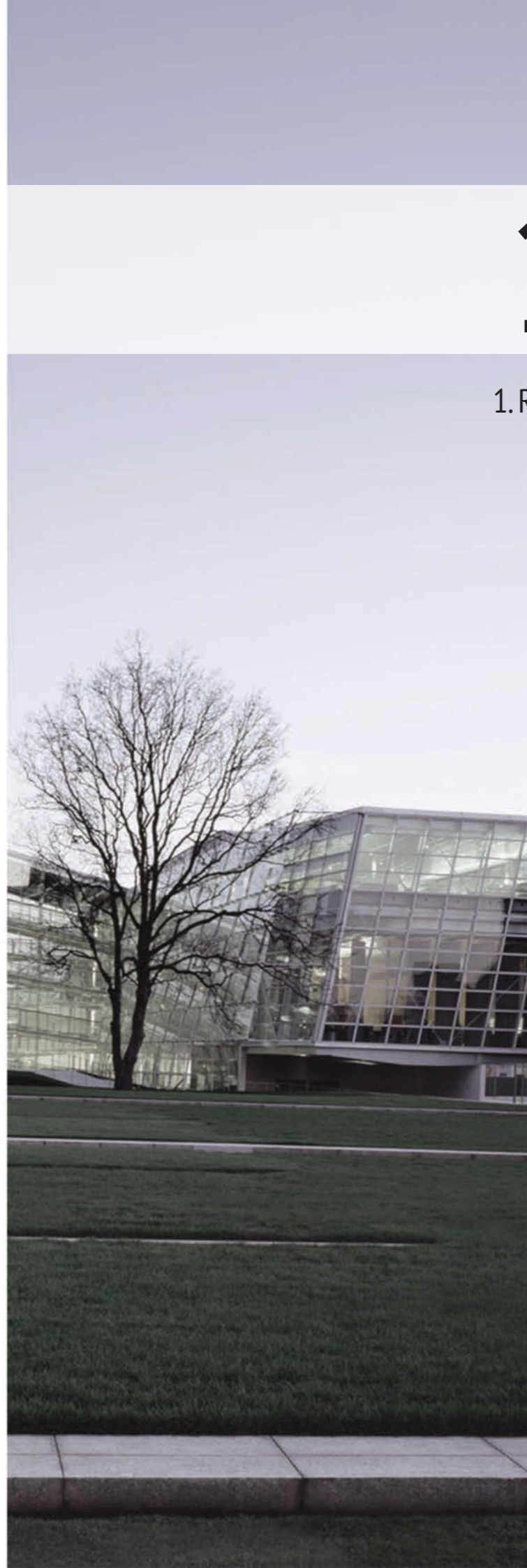
The stairs serving the first floor should be an ambulant disabled stairs. The stairs should have a width of 1,200mm between walls / balustrades and 1,000mm between handrails. The maximum height between landings should be limited to 1.8m.

ACCESSIBLE WC/CHANGING ROOMS

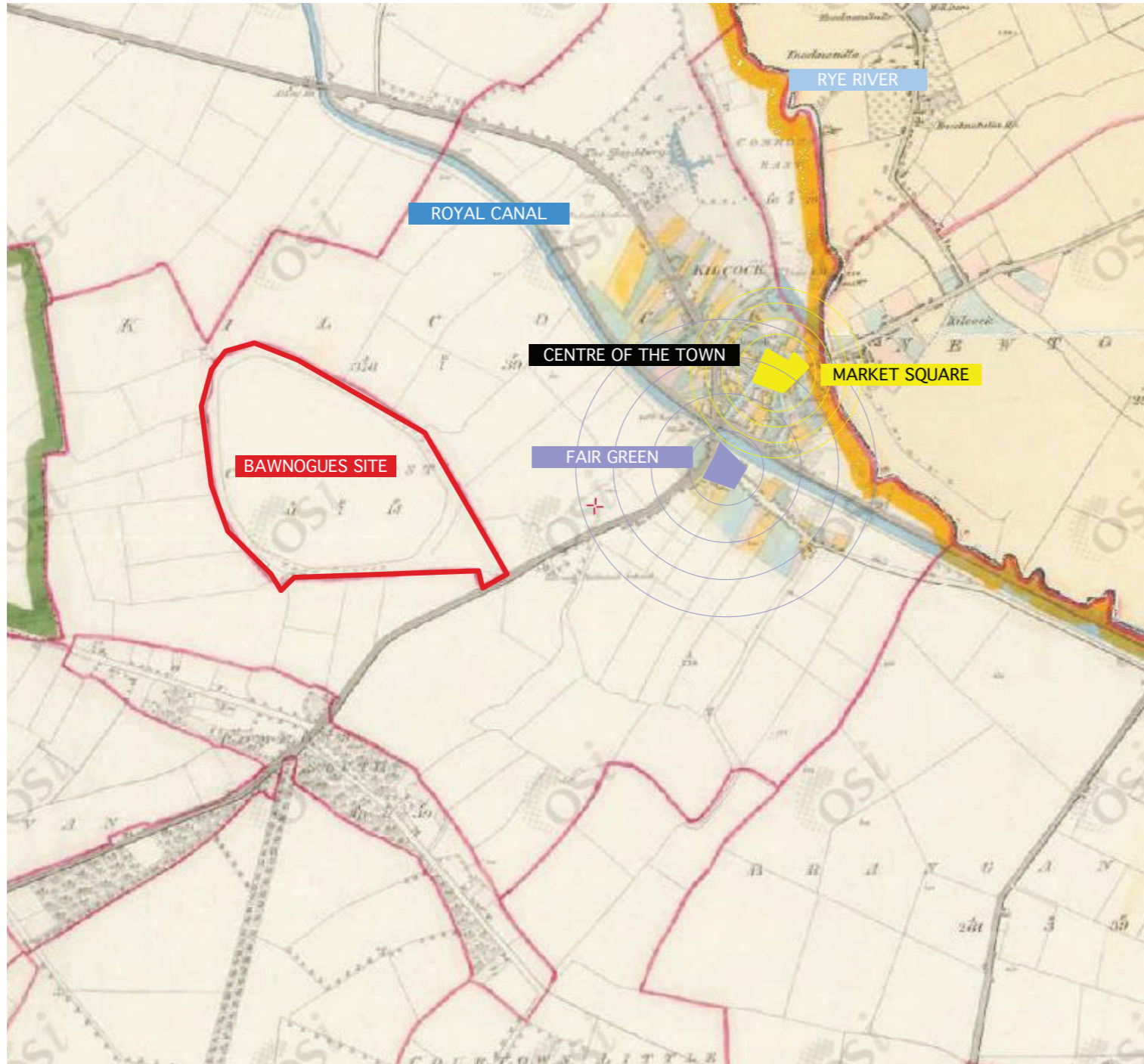
The proposed Wheelchair accessible shower/toilet room should be provided with an outward opening door to comply with TGD M, however, if the door of the bathroom opens into the corridor a clear width of 1,200mm should be provided between the leading edge of the door and the opposite wall. Alternatively the dimensions of the accessible WC/shower could be increased to accommodate an inward opening door.

14 APPENDIX

1. RE-CAP OF BAWNOGUES MASTERPLAN 2015



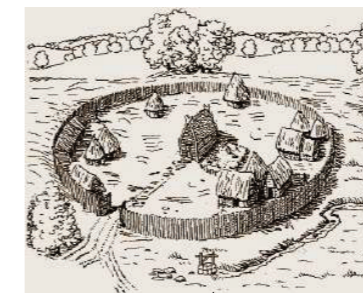
DEVELOPMENT OF KILCOCK



First Edition 6" 1834-1846

DEVELOPMENT OF KILCOCK

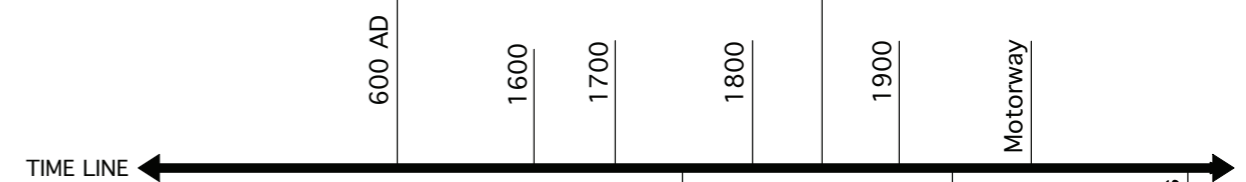
The place name Kilcock is derived from the Irish 'Cill Coca' the Church of St Coca. St Coca was an early Christian missionary and she founded the first Church in Kilcock circa 550 A.D. The Church was built on high ground on the southern bank of the Rye Water River close to a well of pagan religious significance.



St Coca's Well



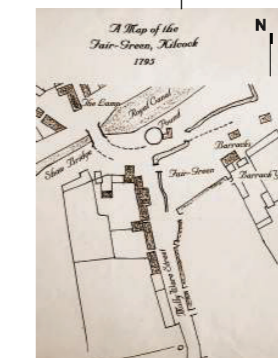
Royal Canal



Ireland Hybernia

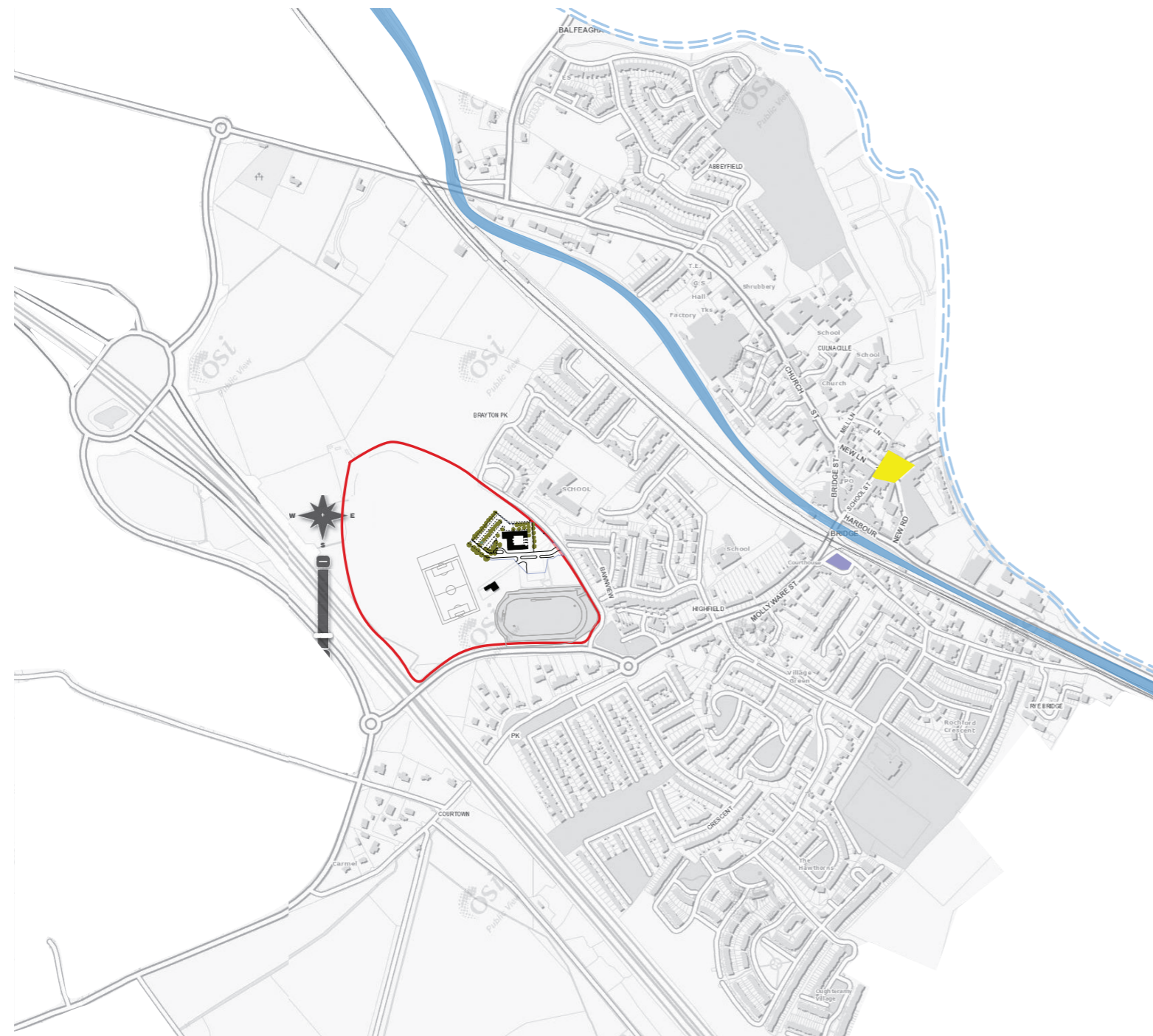


Fair Green



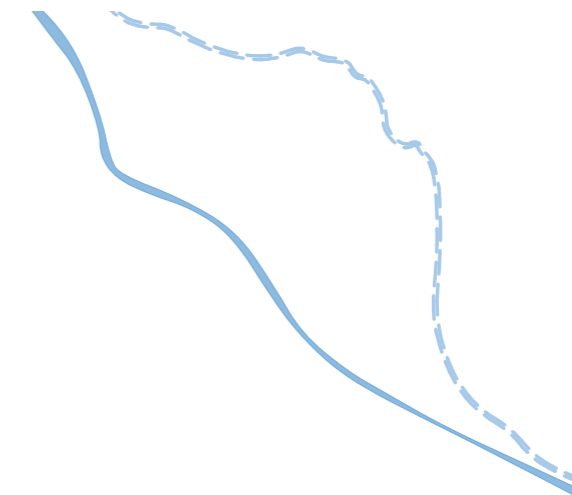
2000

WATERWAYS



Legend

- Royal Canal - Manmade
- - - Rye Water - Natural



CIVIC & GREEN SPACES HIERARCHY



ROUTES - VEHICULAR

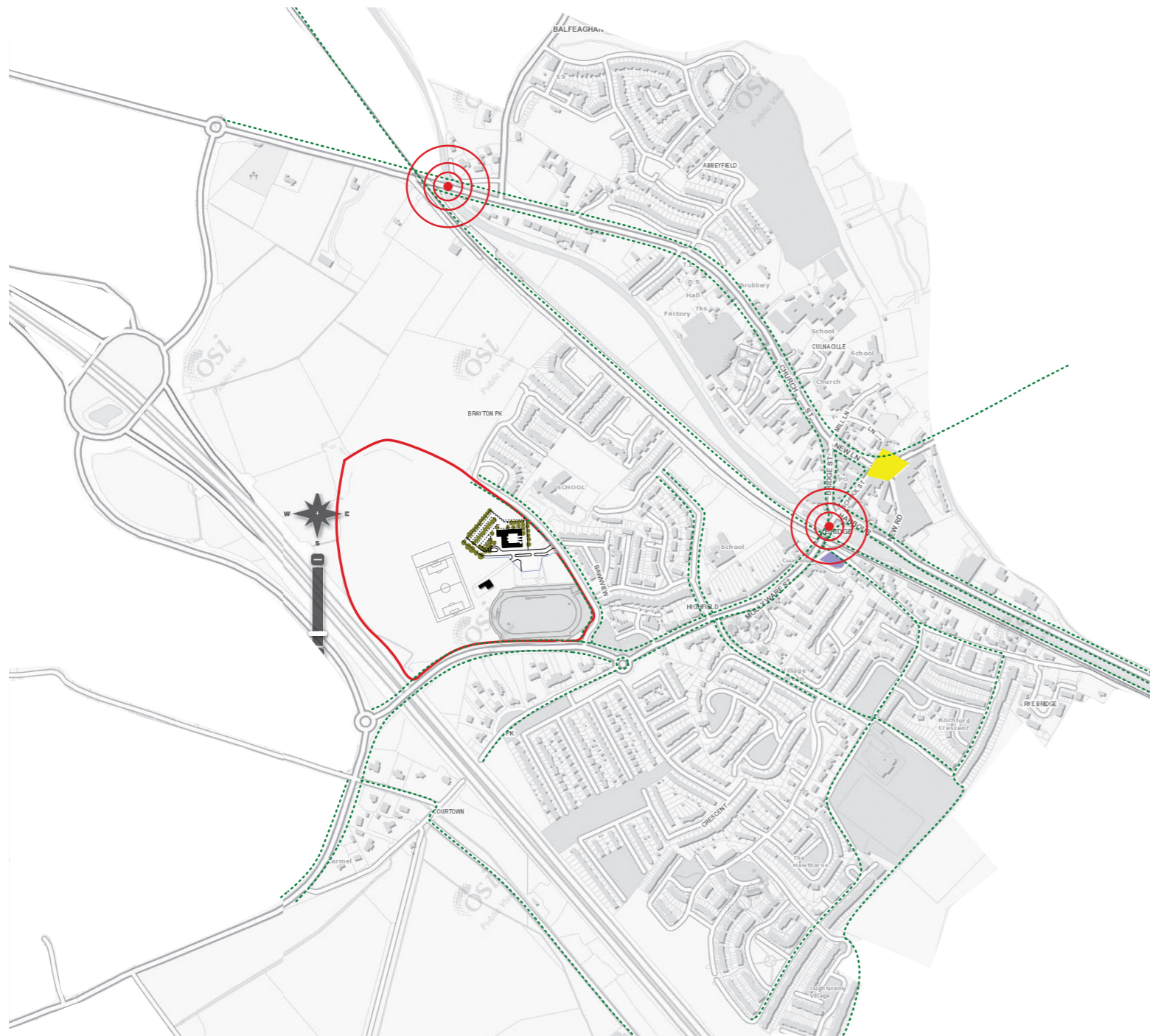


Legend



- Motorway
- Link Roads
- Local Roads - Extent of cul de sacc - Limited Links
- Railway
- ⊕ Train Station
- - - Future Link Road

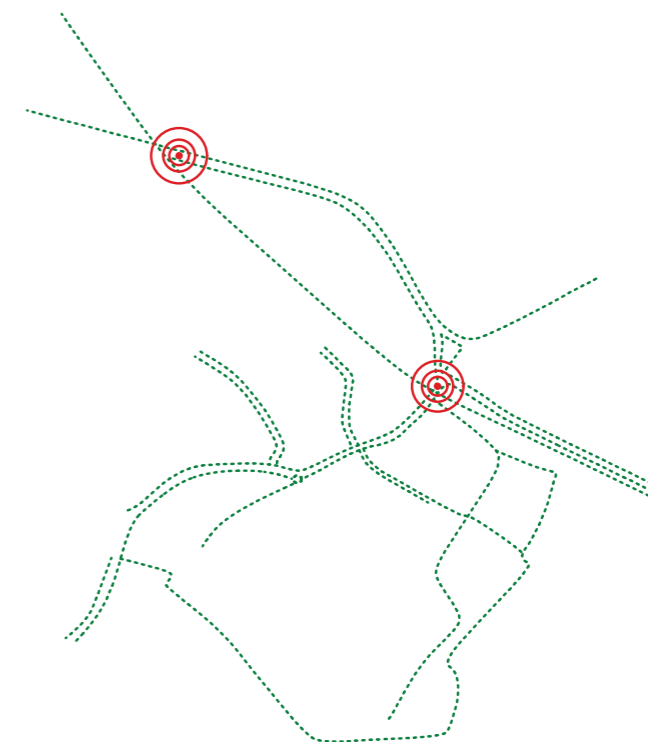


ROUTES - PEDESTRIAN



Legend

-  Walkways
-  Bridges - Gateways





Legend

- Build
- Non-Build
- ▨ Future Development

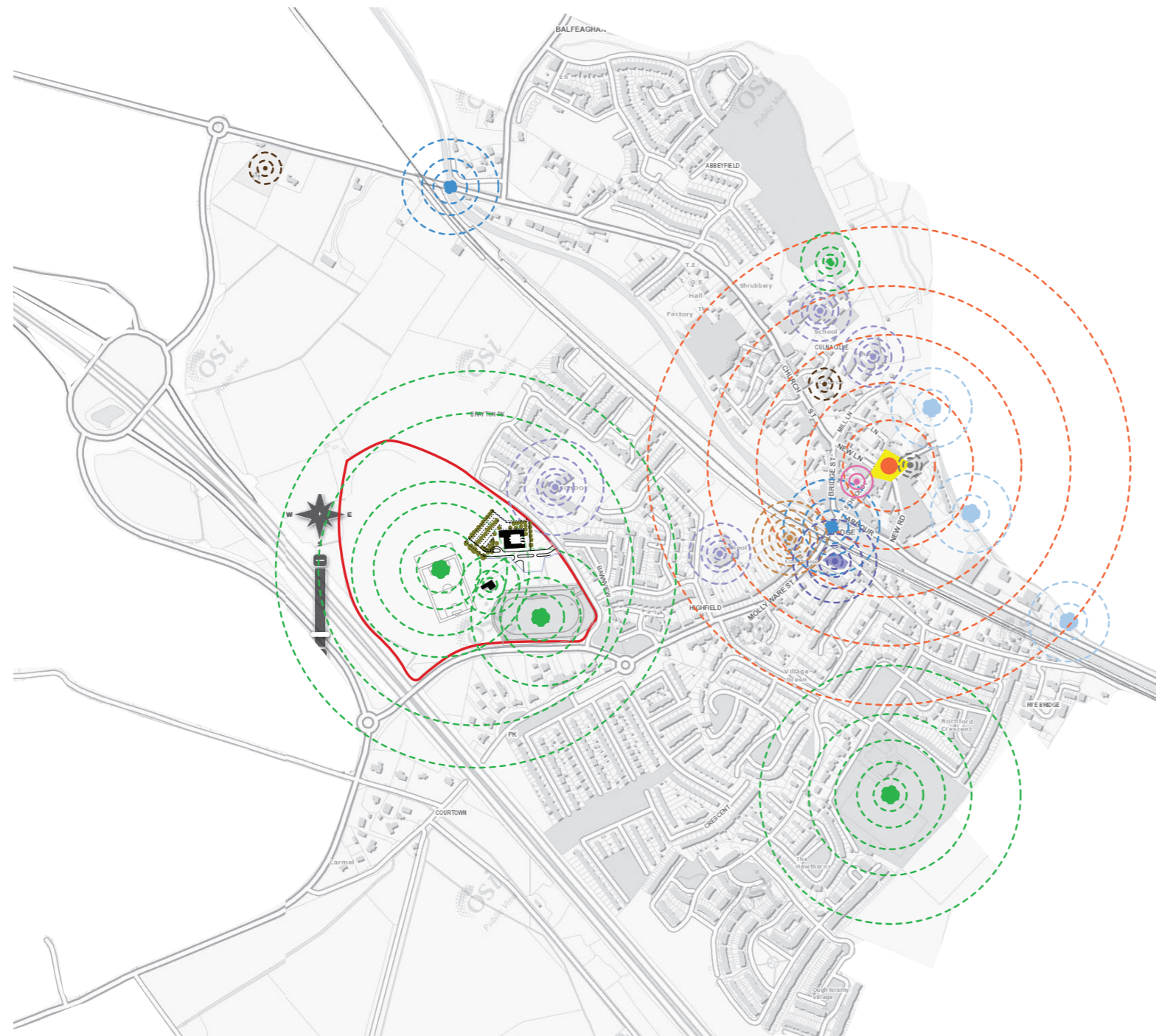


Existing

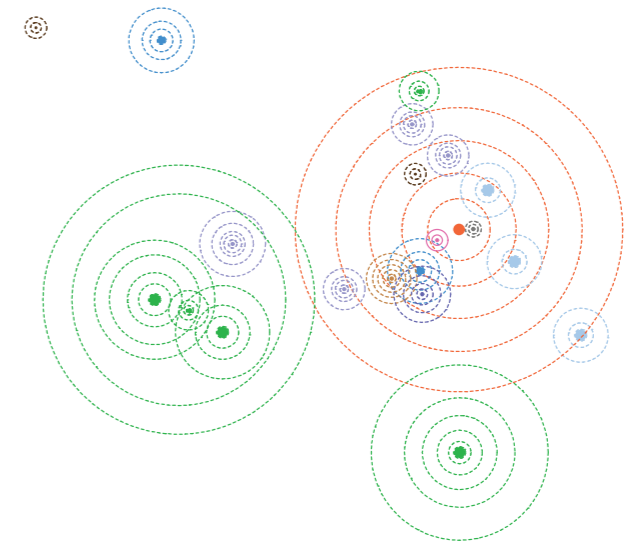


Potential Growth

NODES & FOCAL POINTS



- Legend
- Sport Use
 - Church / Graveyard
 - Library
 - School
 - Credit Union
 - Train Station
 - Bridges
 - Fair Green
 - Town Center

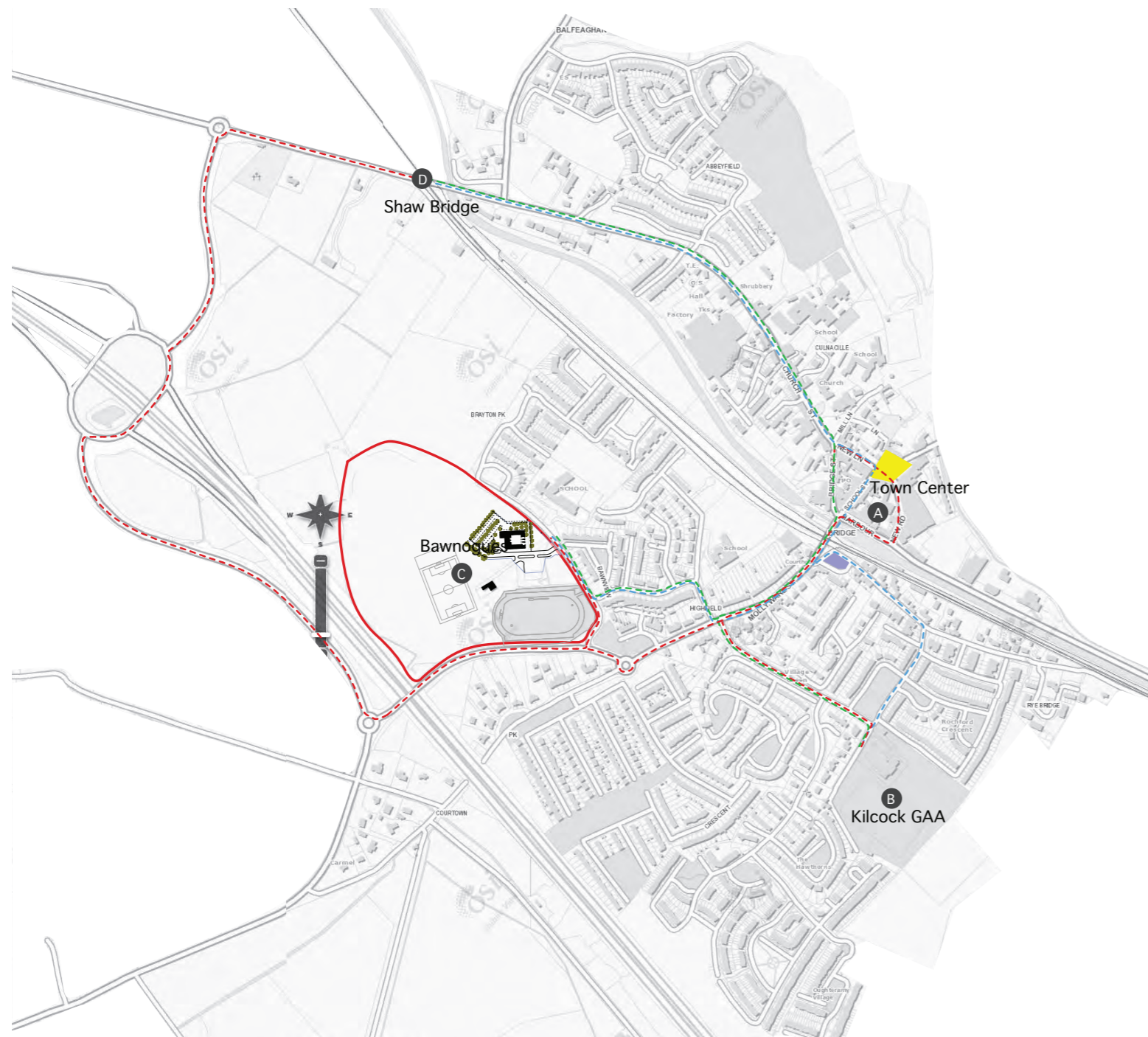


CHARACTER AREAS



- Legend
- Religious
 - Commercial
 - Educational
 - Transport
 - Sport
 - Recreation
 - Industrial
 - Housing
 - Civic & Green Space
 - Watercourse
 - Market Square
 - Motorway





Legend

Walking

Vehicle

Cycling

A - B 800 mts - 11 mins / 1.2 kms - 3 mins / 900 mts - 5 mins

A - C 900 mts - 12 mins / 1.3 kms - 3 mins / 900 mts - 6 mins

A - D 2.1 kms - 26 mins / 2.4 kms - 5 mins / 2.1kms - 9 mins

D - C 1.9 kms - 23 mins / 2.8 kms - 3 mins / 2.2kms - 8 mins

KILCOCK BACKGROUND



KILCOCK

Kilcock has developed in a linear fashion along the main thoroughfare, clustered around the market square initially, and gradually developing further south with the introduction of canal and railway.

More recently residential development has occurred to the south of the canal and railway line, while the major nodes of civic life have for the most part been retained in the historical town core.

The Bawnogues Integrated design study, and future development at the site, allows formation of a cluster of civic nodes at this location, mirroring the cluster of nodes around the town centre.

Linkages between the nodal points currently follow the linear development of Kilcock. A long term strategy should be pursued to diversify the number and type of linkages to the historic core. We propose that additional pedestrian and cycling green routes should be considered in the future development of Kilcock, increasing the available crossing points from the two vehicular bridges currently available, to four or five, with some specifically dedicated to pedestrian and cycling.

This will have the added benefit of reinvigorating the historic centre of Kilcock. Future development, organized along the new linkages, and future town growth, as identified in the current local area plan, leaves the Bawnogues at the heart of South Kilcock, linked to the historical core with a variety of routes.



LAYER 1 - HISTORICAL
OBJECTIVE 1 - REINTERPRETING THE RACETRACK ROUTE

Establish Racetrack Route

- Link Character Areas
- Civic Square
 - Urban Edge
 - Woodland Setting
 - Wetlands
 - High Ground
 - Open Ground

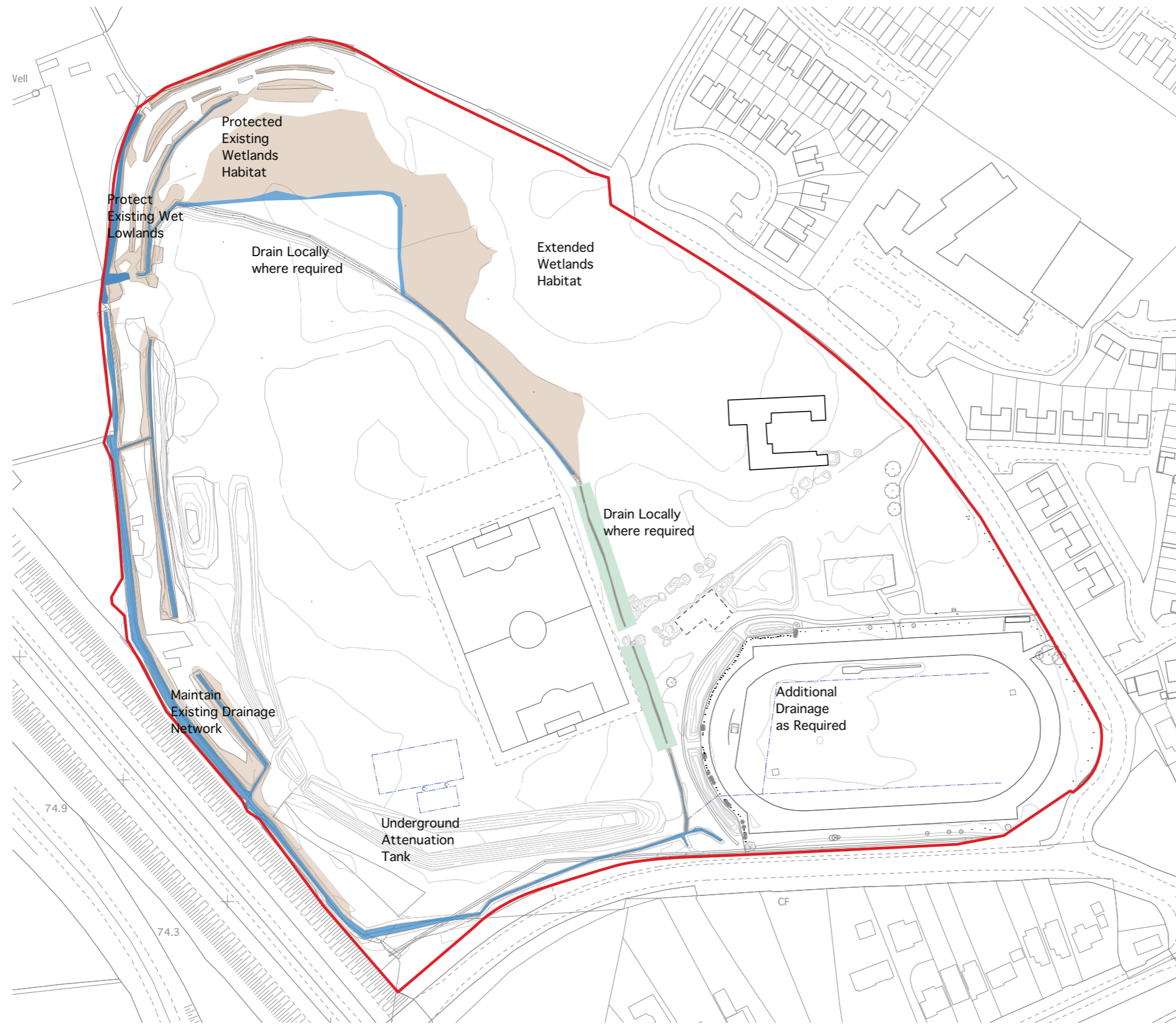
Approx 1 km walking / jogging / cycling route

Establish Visual Trace of historic outline

Increased Planting of trees / plants to provide definition, and to increase habitat opportunities



Section AA through Enclosed Route - Wetlands



LAYER 2 - WETLANDS & WATERWAYS
OBJECTIVE 2 - RE-CREATE WETLANDS

- Strengthen Wetlands Character Area
- Reinforce existing wetlands planting
- Provide Drainage to Rest of Bawnogues
- Close Drain to Soccer Pitch - Trace of Drain remains
- Attenuation Tank (underground) for Surface Water Run-off



Additional Planting for Shelter Drainage covered, & planted

Proposed Section BB



Open Drain Windswept Landscape

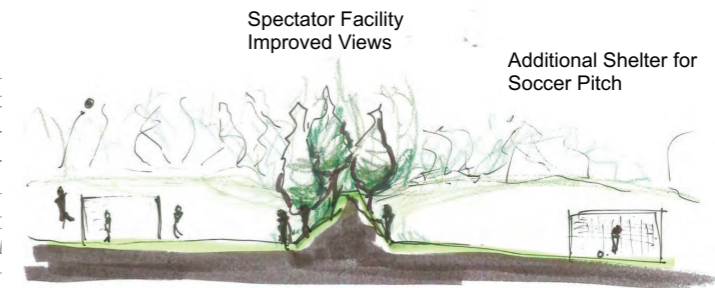
Existing Section BB

Image of Proposed Character Area



LAYER 3 - HIGH GROUND
OBJECTIVE 3 - PROTECT ASPECT & SHELTER

- Maintain Existing Shelter / Prospect
- Maintain existing views from high ground where possible
- Provide additional shelter to pitches
- Provide improved spectator facilities



Section GG through New High Ground



Section HH through Motorway Boundary



Images of Proposed Character Area



LAYER 5a - SPORTS - PLAYING PITCHES
OBJECTIVE 5a - INCREASE SPORTS USE

- Reinforce existing Sports USE
- Provide additional natural turf playing pitch
- Provide additional Artificial Grass playing pitch (floodlit) - Protect Residential Amenity by relocating away from existing housing
- Provide additional shelter to existing pitch
- Improve existing amenity for spectators
- Facilitate improvement to changing facilities



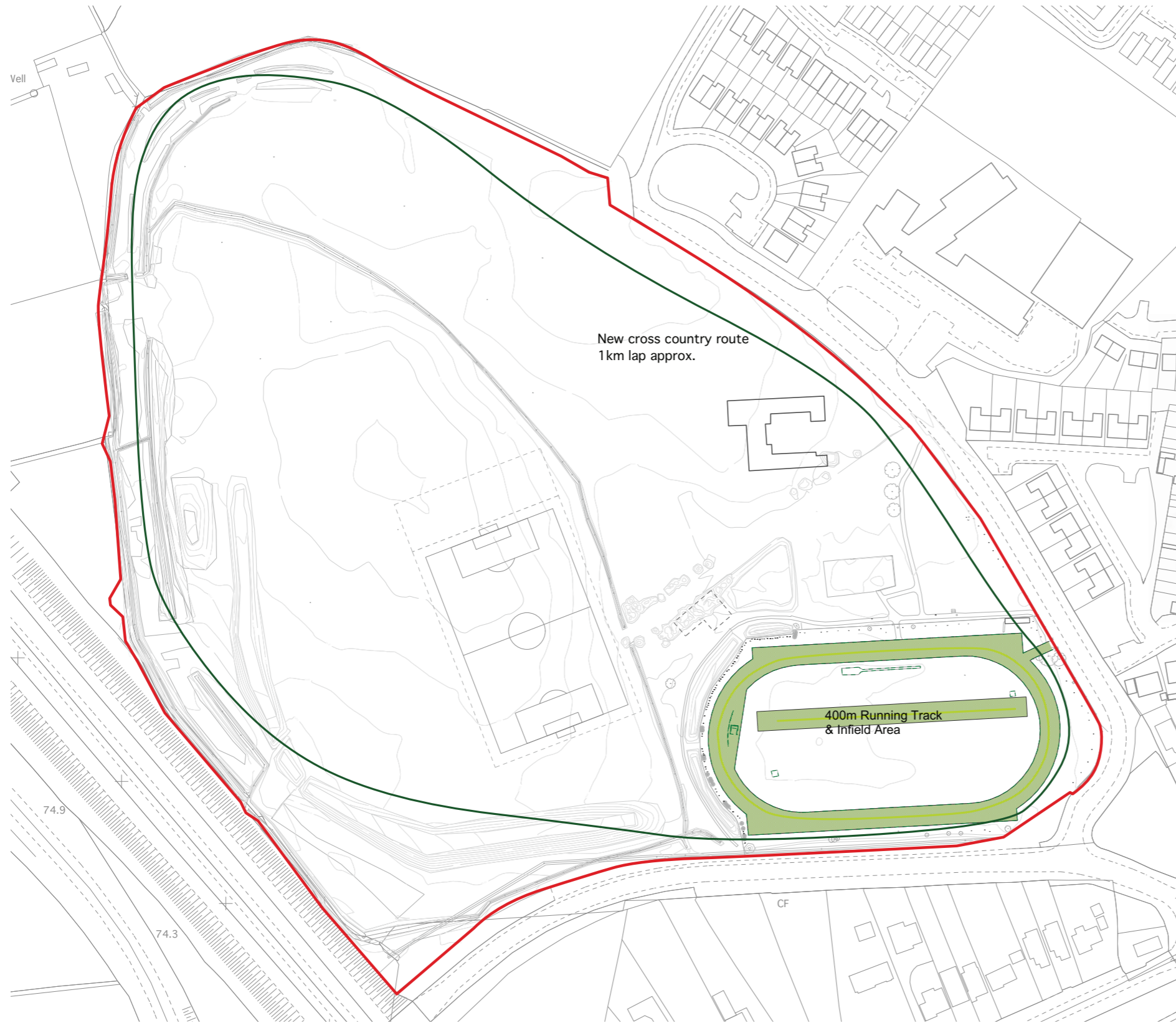
Section CC through Character Area





LAYER 4 - VEGETATION
OBJECTIVE 4 - PLANTING

- Reinforce & Protect Existing Vegetation
- Additional Biodiversity
- Improve amenity to walkways and routes
- Provide additional shelter for pedestrians
- Define boundary of park - perimeter route



LAYER 5b - SPORTS - RUNNING TRACKS
OBJECTIVE 5b - INCREASE SPORTS USE

- Reinforce existing Sports Use
- Provide additional a cross country route - 1 km running track
- Increase accessibility to existing track
- Improve existing changing / storage facilities
- Include a new sprint training lane within the infield area of the existing Running Track



Section DD

Images of Proposed Character Area



LAYER 6 - BUILT ENVIRONMENT
OBJECTIVE 6 - ACCESS & ORDER

- Provide Gateway to All Areas
- Security by Design
- Link Key Spaces
- Increase accessibility to proposed Facilities
- Promenade
- Meeting Point
- Orientation



Civic Space Community Centre Gateway Primary Care Centre

Section EE



Images of Proposed Character Area



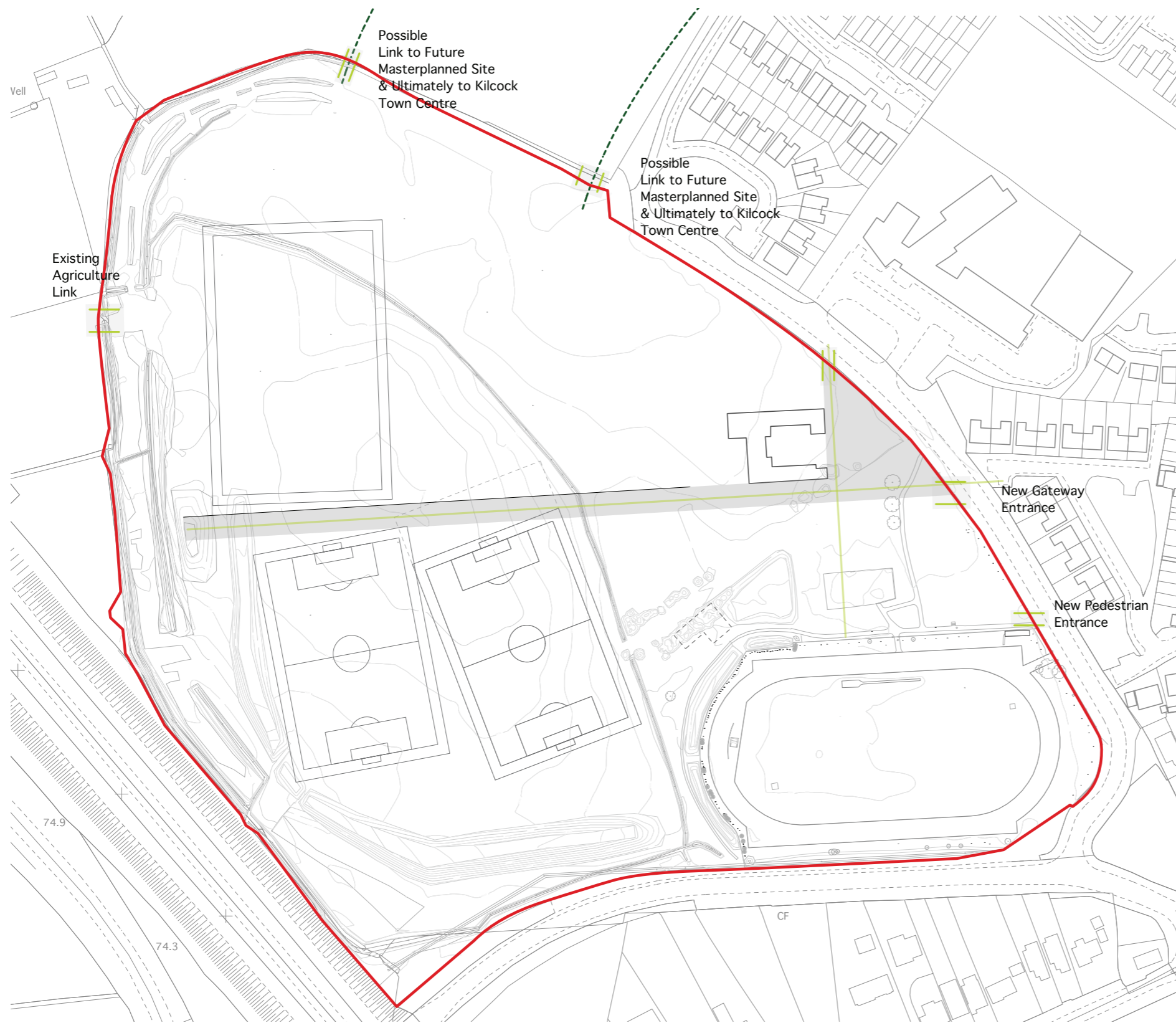
LAYER 7 - BUILT ENVIRONMENT
OBJECTIVE 7 - ACCESS

- Provide Gateway to All Areas
- Security by Design
- Link Key Spaces
- Increase Accessibility
- Promenade
- Orientation / Reference
- Layout for Future Developments

Section FF through Character Area



Images of Proposed Character Area



LAYER 8 - ACCESSIBILITY
OBJECTIVE 8 - IMPROVE ACCESSIBILITY & LINKAGES

- Link to future Kilcock Town Centre Link Routes
- Link to Overpass to Courttown House
- Integrate Tidy Towns Corner Site



LAYER 9 - AVAILABLE SPACE
OBJECTIVE 9 - IDENTIFY FUTURE USE & DEVELOPMENT POTENTIAL

Identify Future Usage Overlays for Identified Areas



- Uses with access from circular track
- Pumps track
 - Barbeque Areas
 - Picnic Areas
 - School Gardens
 - Intensification of Built Environment if required
 - New Library
 - New Swimming Pool
 - Playground
 - Additional Sporting Use
 - Playground
 - Community Garden
 - Exercise Machinery



SITE LAYER 2015



14 APPENDIX

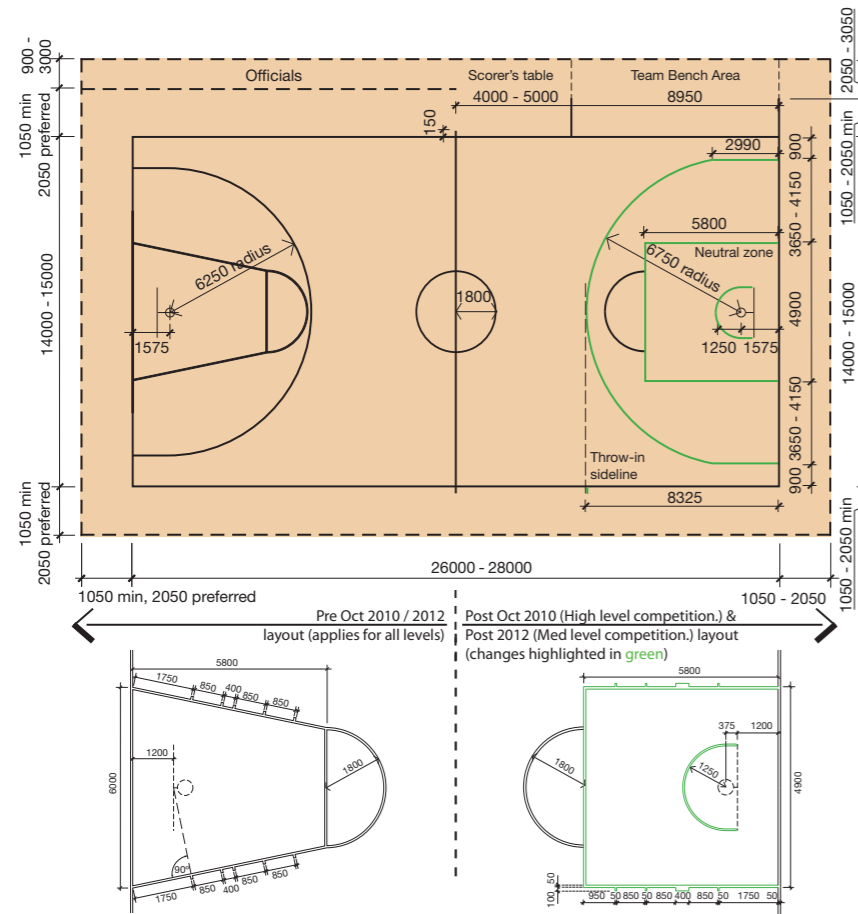
2. SPORTS HALL STUDY



MULTI-PURPOSE HALL RESEARCH

REFERENCE: SPORT ENGLAND-SPORTS HALLS DESIGN & LAYOUTS UPDATED & COMBINED GUIDANCE 2012

**BASKETBALL
COMMUNITY STANDARD
MIN COURT SIZE: 26X14 HEIGHT: 7 M
MIN HALL SIZE: 28.1X16.1 M**



Dimensions of a basketball court (mm)

	Community	Club	Premier	International
Playing area				
Length (minimum or preferred)	26000 or 28000	26000 or 28000	26000 or 28000	28000
Width (minimum or preferred)	14000 or 15000	14000 or 15000	14000 or 15000	15000
Out of bounds (minimum or preferred)	1050 or 2050	1050 or 2050	2050	2050
Extra one side for officials and team areas / benches	Optional	2050 - 3050	2050 - 3050	3050
Overall space requirements				
Minimum	28100 x 16100	28100 x 18150	30100 x 20150	32100 x 22150 ⁴
Preferred	32100 x 19100	32100 x 22150	32100 x 22150	
Height	7000	7000	7000	7000

Notes:
¹ Provision for spectator seating has been excluded
² 34.5 x 20 m sports halls can accommodate the preferred size court 28 x 15 m for club / community / training level use.
³ Markings in green are changes from Oct 2010 (high level competition) and 2012 (medium competition).
⁴ For international events, EBL recommend min 5.0 m additional safety zone in front of spectator seating.
www.englandbasketball.co.uk



Design Guidance Note
Creating sporting opportunities in every community



MEET REQUIREMENT OF BASKETBALL COURT



NOT MEET REQUIREMENT OF BASKETBALL COURT

MULTI-PURPOSE HALL RESEARCH

REFERENCE: SPORT ENGLAND-SPORTS HALLS DESIGN & LAYOUTS UPDATED & COMBINED GUIDANCE 2012



**FIVE-A-SIDE FOOTBALL
COMMUNITY STANDARD**

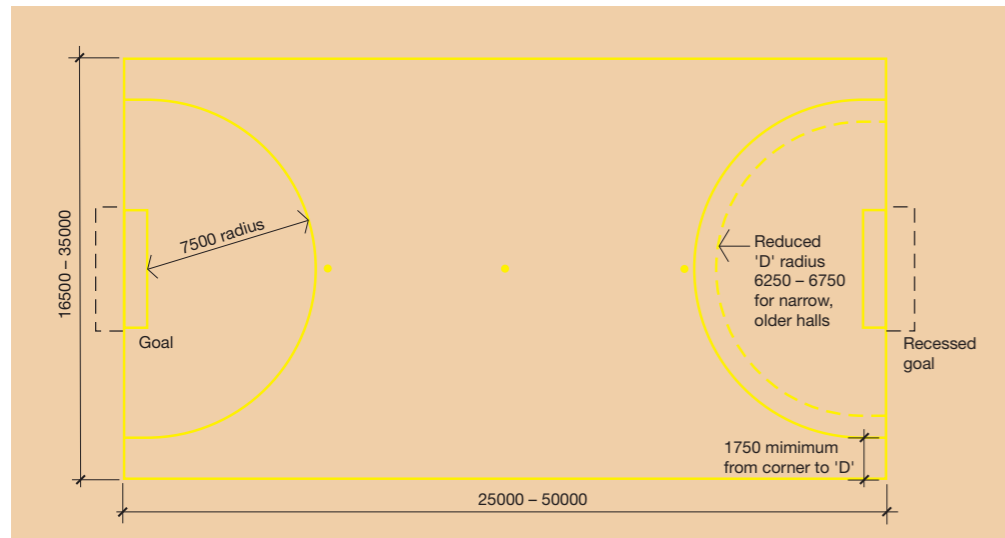
**MIN COURT SIZE: 25X16.5 HEIGHT: NO PRESCRIBED MINIMUM HEIGHT
MIN HALL SIZE: THERE ARE NO RUNN OFF REQUIREMENTS**

**FUTSAL
COMMUNITY STANDARD**

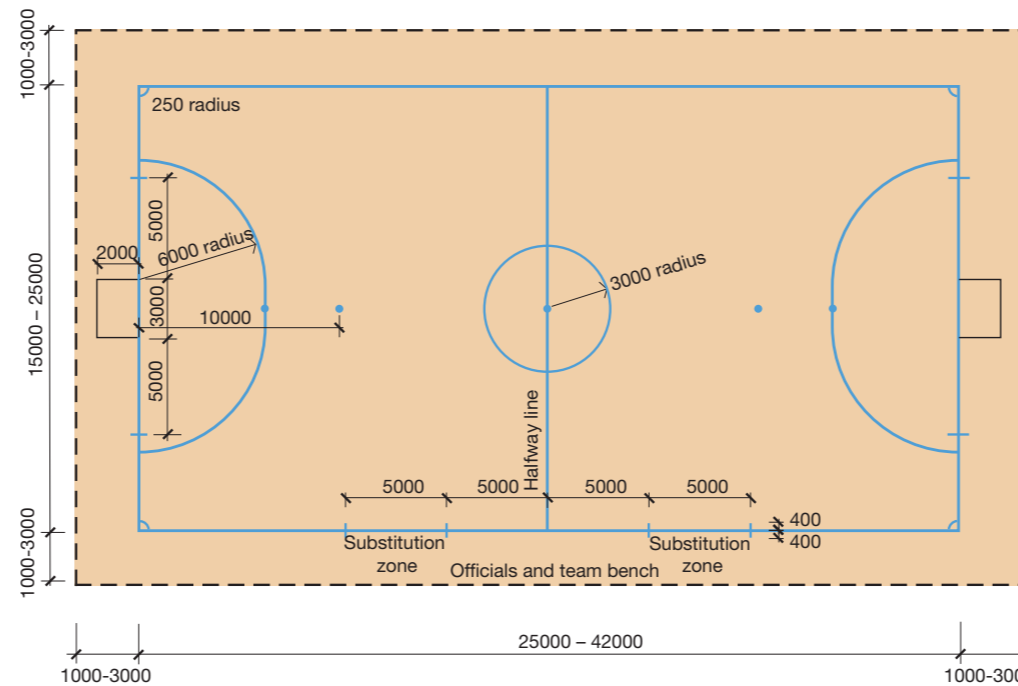
**MIN COURT SIZE: 25X15 HEIGHT: NO PRESCRIBED MINIMUM HEIGHT
MIN HALL SIZE: 27X17 M**



Design Guidance Note
Creating sporting opportunities in every community



Dimensions of a five-a-side football pitch (mm)



Dimensions of a futsal pitch (mm)

	Community	Club	Premier	International
Playing area				
Length (min - max)	25000-50000	25000-50000	25000-50000	25000-50000
Width (min - max)	16500-35000	16500-35000	16500-35000	16500-35000
Out of bounds surround	N/A	N/A	N/A	N/A
Overall space requirements	For sports halls, walls may be used (where safe) as the court boundary, or rebound boards may be provided. There are no run off requirements.			
Height	No prescribed minimum height ¹			

Notes:
¹ No specific minimum height is given. Height provision is driven by other sports using the space (e.g. Badminton, Gymnastics, and Tennis etc). Wall surfaces used as boundaries must be impact resistant, smooth, with finishes to prevent dusting / flaking. There must be no protrusions and doors should be avoided or be flush and open outwards away from the sports hall.
www.thefa.com

Five-a-side football pitch space requirements (mm)

	Community	Club	Premier	International
Playing area				
Length (min - max)	25000-31000 ¹	31000-42000 ¹	31000-42000	38000-42000
Width (min - max)	15000-16000	16000-25000	16000-25000	18000-22000
Run off surround	1000	1000-2000	2000-3000	3000 ²
Overall space requirements				
Minimum	27000 x 17000	33000 x 18000	35000 x 20000	44000 x 24000
Maximum	33000 x 18000	46000 x 29000	48000 x 31000	48000 x 28000
Height	No prescribed minimum height ³			

Notes:
¹ The side walls or rebound boards are not used in Futsal and a runoff is a requirement. For recreational and club levels of play the court sizes and runoffs can be adjusted to allow Futsal to fit into a four court Sports Hall, otherwise the preferred run off of 3m is required for national and international play. However, this may be reduced to 2m where space is limited.

² Additional space is required for benching / tables / officials / team bench.

³ No specific minimum height is given. Height provision is driven by other sports using the space (e.g. Badminton, Gymnastics, and Tennis etc).

http://www.fifa.com/aboutfifa/footballdevelopment/technicalsupport/futsal/laws_of_the_game.html

Futsal pitch space requirements (mm)

MULTI-PURPOSE HALL RESEARCH

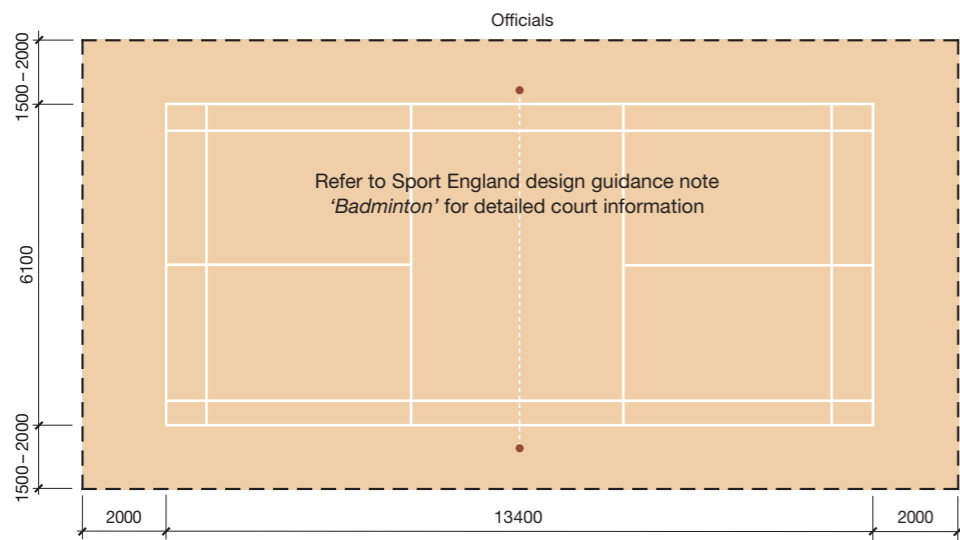
REFERENCE: SPORT ENGLAND-SPORTS HALLS DESIGN & LAYOUTS UPDATED & COMBINED GUIDANCE 2012

BADMINTON

COMMUNITY STANDARD

MIN COURT SIZE: 13.4X6.1 HEIGHT: 6.7 M

MIN HALL SIZE: 17.4X9.1 M FOR A SINGLE COURT



Dimensions of a badminton court (mm)

	Community	Club	Premier	International
Minimum height over court	6700	7500	9000	9000
Playing area (doubles court)				
Length	13400	13400	13400	13400
Width	6100	6100	6100	6100
Wall from baseline, min	2000	2000	2000	2000
Between opposing courts including division netting	3000	3000	4000	4000
Wall from sideline ¹	1500	1500	1500	2000 ²
Between parallel courts, min	1500	1500	1500	2000
Between parallel courts including division netting	2400	2600	2600	3000
Minimum overall area:				
For a single court	17400 x 9100	17400 x 9100	17400 x 9100	17400 x 10100
For two parallel courts ³	17400 x 16700	17400 x 16700	17400 x 16700	17400 x 18200
For each additional court ³	17400 x 7600	17400 x 7600	17400 x 7600	17400 x 8100

Notes:

¹ To accommodate umpire chairs an additional width may be needed between court sides outside of safety run off.

² Excludes space for officials tables or division netting.

³ Excludes division netting.

www.badmintonengland.co.uk

Refer also to Sport England design guidance note 'Badminton'.

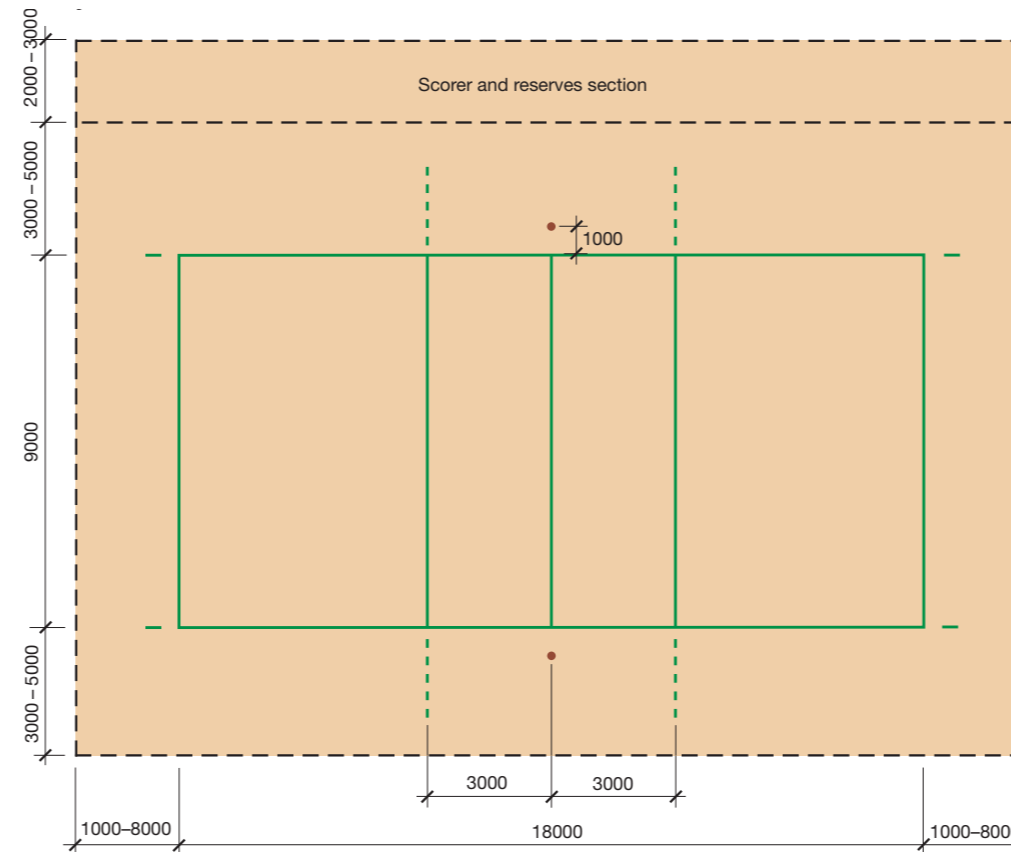
Badminton space requirements (mm)

VOLLEYBALL

COMMUNITY STANDARD

MIN COURT SIZE: 18X9 HEIGHT: 7 M

MIN HALL SIZE: 20X15 M



Dimensions of a volleyball court (mm)

	Training ¹	Community	Club	Premier ²	International ³
Playing area					
Length	18000	18000	18000	18000	18000
Width	9000	9000	9000	9000	9000
Side line clear space	3000	3000	3000	3000	5000 min
Extra one side for officials and team areas / benches	N/A	N/A	2000	2000	3000
Backline clear space	1000	3000	3000	5000	8000 min
Overall space requirements	20000 x 15000	24000 x 15000	24000 x 17000	28000 x 17000	34000 x 22000 min
Height (min)	7000	7000	7500	7500	12500

Notes:

¹ The principles of the Volleyball training court have been proposed by Volleyball England and incorporates reduced end run-off margins, subject to risk assessment on a site-by-site basis.

² Sizes refer to National League play competition.

³ Sizes refer to FIVB governed World / Official competition

www.volleyballengland.org



Design Guidance Note
Creating sporting opportunities in every community



MULTI-PURPOSE HALL RESEARCH

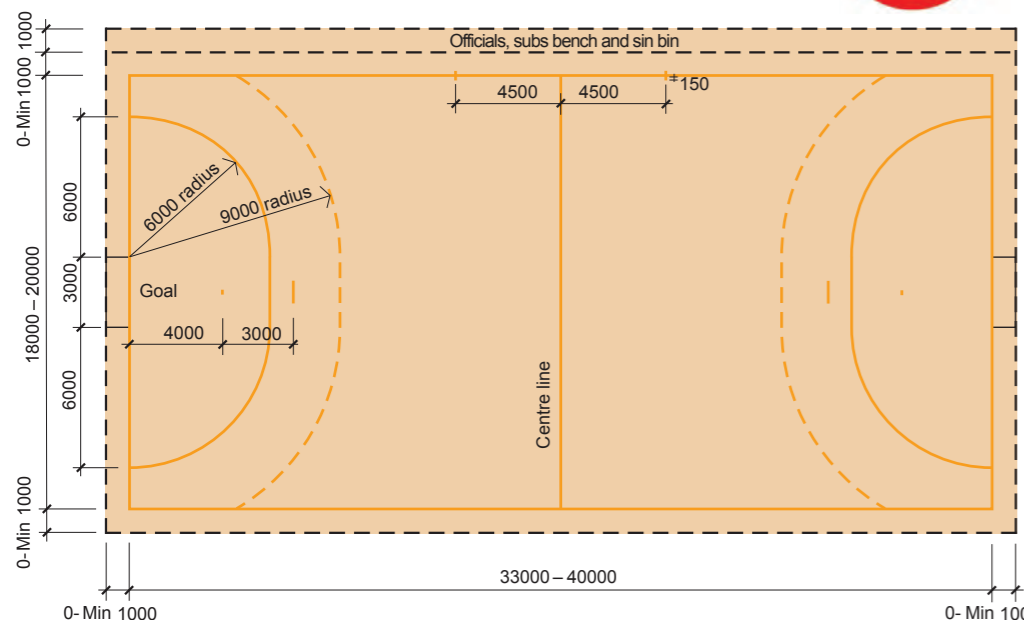
REFERENCE: SPORT ENGLAND-SPORTS HALLS DESIGN & LAYOUTS UPDATED & COMBINED GUIDANCE 2012



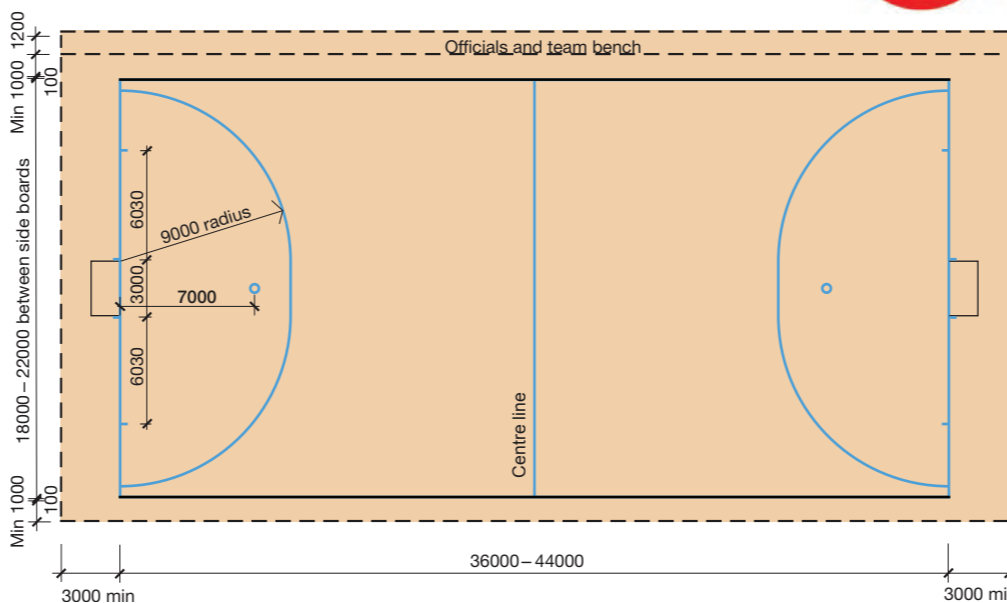
Design Guidance Note
Creating sporting opportunities in every community



Handball



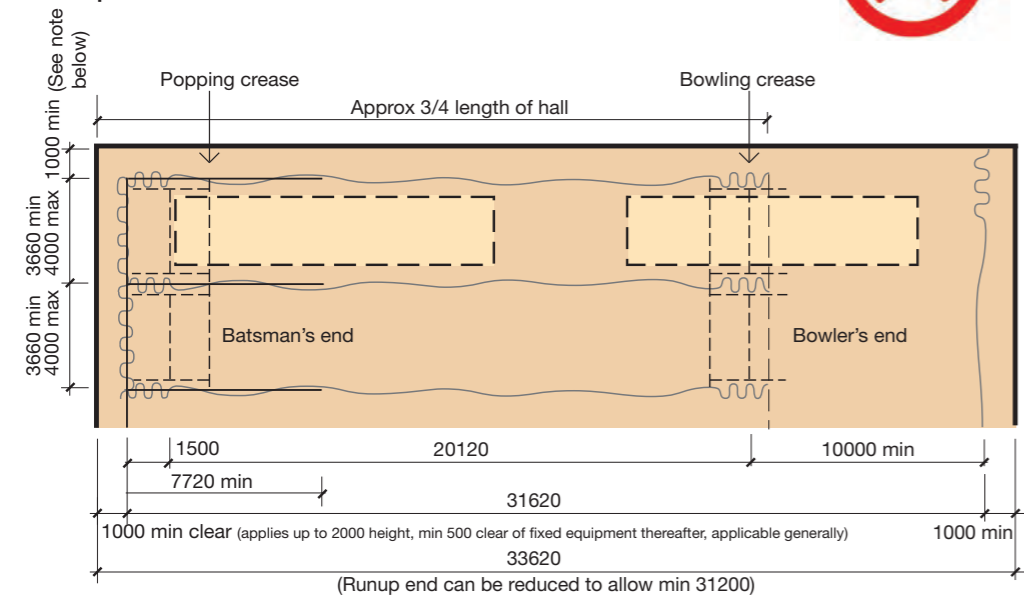
(Indoor) Hockey



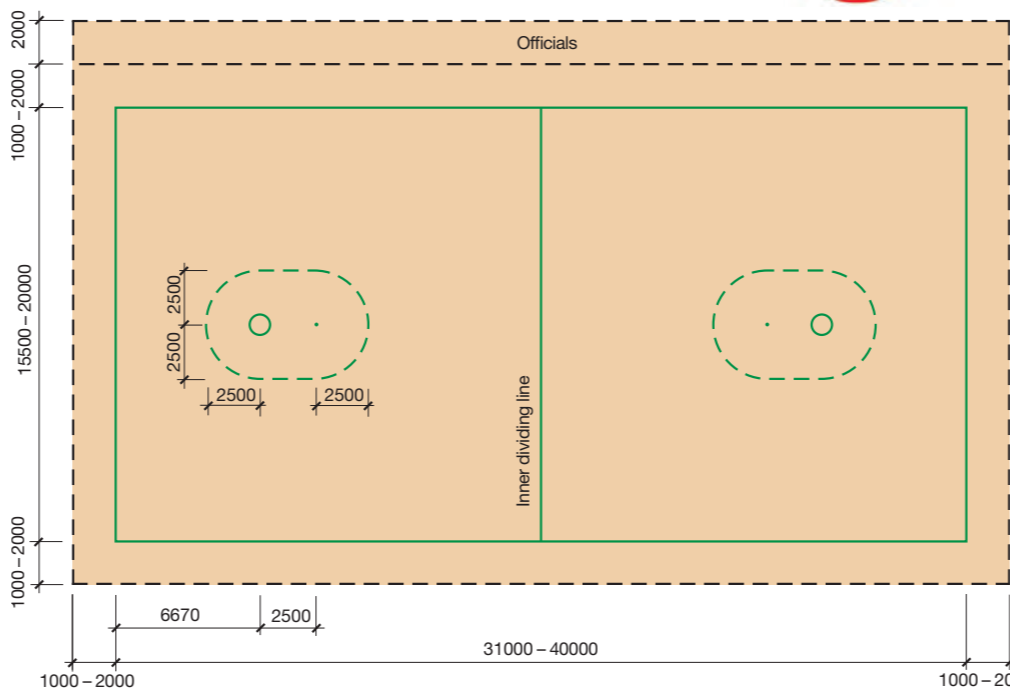
COURT SIZE: 33 X 18 M
HEIGHT: 7M

COURT SIZE: 36 X 18 M
HEIGHT: NO PRESCRIBED MINIMUM HEIGHT

Cricket practice / Indoor cricket



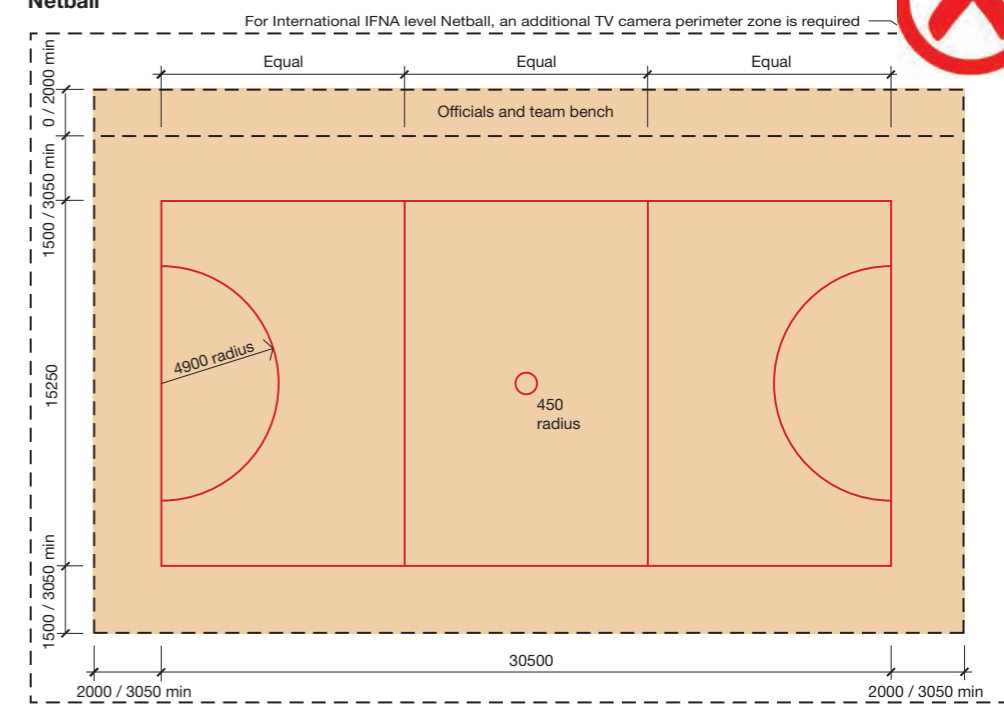
Korfball



COURT SIZE: 3.66 X 31.2 M
HEIGHT: 4.5

COURT SIZE: 31 X 15.5 M
HEIGHT: 7M

Netball



COURT SIZE: 30.5 X 15.25 M
HEIGHT: 7.5 M

CooneyArchitects



MULTI-PURPOSE HALL RESEARCH

REFERENCE: SPORT ENGLAND-SPORTS DATA SHEETS BASKETBALL 2012

Developing the Right Sports Hall

Sports Data Sheets
Basketball

Primary Sport

Basketball - Overview		Source of information:												
International	Premier	Overall space (m) incl. R/O* + T/O**			Principal playing area (m)			Run offs (m) R/O			Additional areas (m) T/O SS		Specification	
				L x W x H	Length	Width	Height	Ends	Sides	Between courts / Between courts with a dividing net	Space for teams (T) and match officials (O)	Spectator seating	Flooring	Lighting
International	32.10 21.10 7.00	28.00	15.00	7.00	2.05	2.05	4.10 / 4.10	2.00	Required**	Area elastic wooden meeting FIBA standards	750 lux 0.7 Emin / eav			
Club	32.10 20.10 7.00	26.00* - 28.00	14.00* - 15.00	7.00	2.05	2.05	4.10 / 4.10	1.00	Required**	Semi-sprung wooden or synthetic	500 lux 0.7 Emin / eav			
Community	32.10 19.10 7.00	26.00* - 28.00	14.00* - 15.00	7.00	1.05* - 2.05	1.05* - 2.05	4.10 / 4.10	Optional	Optional	Semi-sprung wooden or synthetic	500 lux 0.7 Emin / eav			



* For Premier, Club and Community levels of play, the optimum (larger) court size of 28.00 x 15.00 m with full size 2.05 m run offs has been used for comparison within these sheets.

** Dimensions shown do not include any space for spectator seating or the safety space required in front of any spectator seating. Advice on spectator seating and the additional spaces required is available from England Basketball.



MULTI-PURPOSE HALL RESEARCH

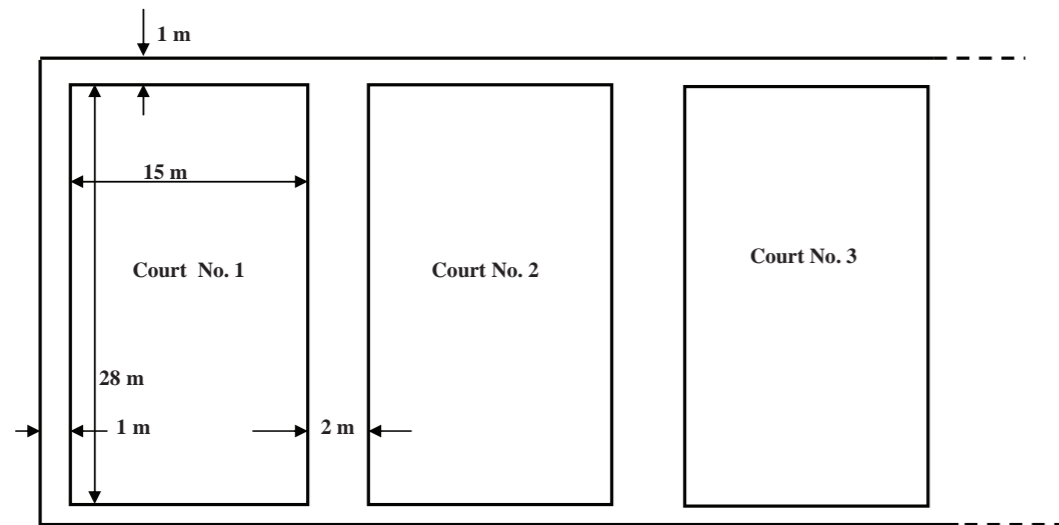
REFERENCE: IRISH STANDARD-DEPARTMENT OF EDUCATION & SKILLS 2011

Department of Education and Skills

Courts

Outdoors Hard-Play Area -- Courts.

❖ Basketball Courts



Overall area per Court	510 m ²	30 x 17 m	Playing Size	28 x 15 m
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▪ If site restrictions apply, the following areas and dimensions may be considered but it is essential that the proportionality be maintained.

i)	Overall Area of court	448 m ²	28 x 16 m	Playing Size	26 x 14 m
ii)	Overall Area of court	390 m ²	26 x 15 m	Playing Size	24 x 13 m

Department of Education & Science

Courts

Summary of Playing Court Sizes

◆ International Court Sizes (except where otherwise stated)

➤ The following is provided for informational purposes so that School Authorities can decide on the games that can be played safely within the Provision of the PE facilities.

Sport	Hall Size without provision for officials or spectators	Court Size	Clear height
Basketball	32 x 19 m	28 x 15	7 m
Volleyball National	26 x 17 m	18 x 9 m	7 m
Football National	31-48 x 21-31 m	25-42 x 15-25 m	7 m
Badminton	18 x 10.5 m	13.4 x 6.1 m	9.1 m
Hockey	42 – 50 x 22.2 - 26.2 m	36 – 44 x 18 – 22 m	7.6 m
Netball	33.5 x 18.5 m	30.5 x 15.25 m	7.6 m
Tennis	39 x 20.73 m	23.77 x 10.97 m	9 m
Football International	44-48 x 24-28 m	38-42 x 18-22 m	7 m
Handball	42 x 24 m	40 x 20 m	9 m
Handball Olympic	42 x 25 m	40 x 20 m	12.5 m
Volleyball International	40 x 25 m	18 x 9 m	12.5 m

Department of Education and Skills PEO



Outdoors Hard-Play Area.
Outdoor PE Equipment – PEO
Equipment List and Specifications.

Standards, Specifications and Conditions

Schools should tender and select the PE Supplier before practical completion and hand over to allow adequate time for co-ordination between the PE Equipment Supplier and the Main Contractor and/or School Authority.

All equipment shall be durable and safe for school use. Equipment wholly or partly funded from public funds is subject to inspection by Officers from the Department of Education and Skills.

It is essential that tenders and tenderers for equipment for school use shall:

- Comply fully with the specifications and be durable and safe for school use.
- Comply fully with the standards as detailed and shall comply fully with European Standards (EN), both established and developing.
- Comply with European electrical standards and CE marking as appropriate.
- Fully comply with requirements in the Request for Tenders (RFT) document.
- Be accompanied by documentation of sufficient detail for full evaluation.
- Include the completed and signed certificate of compliance.

Award of a contract is conditional on the production of a current tax clearance certificate.

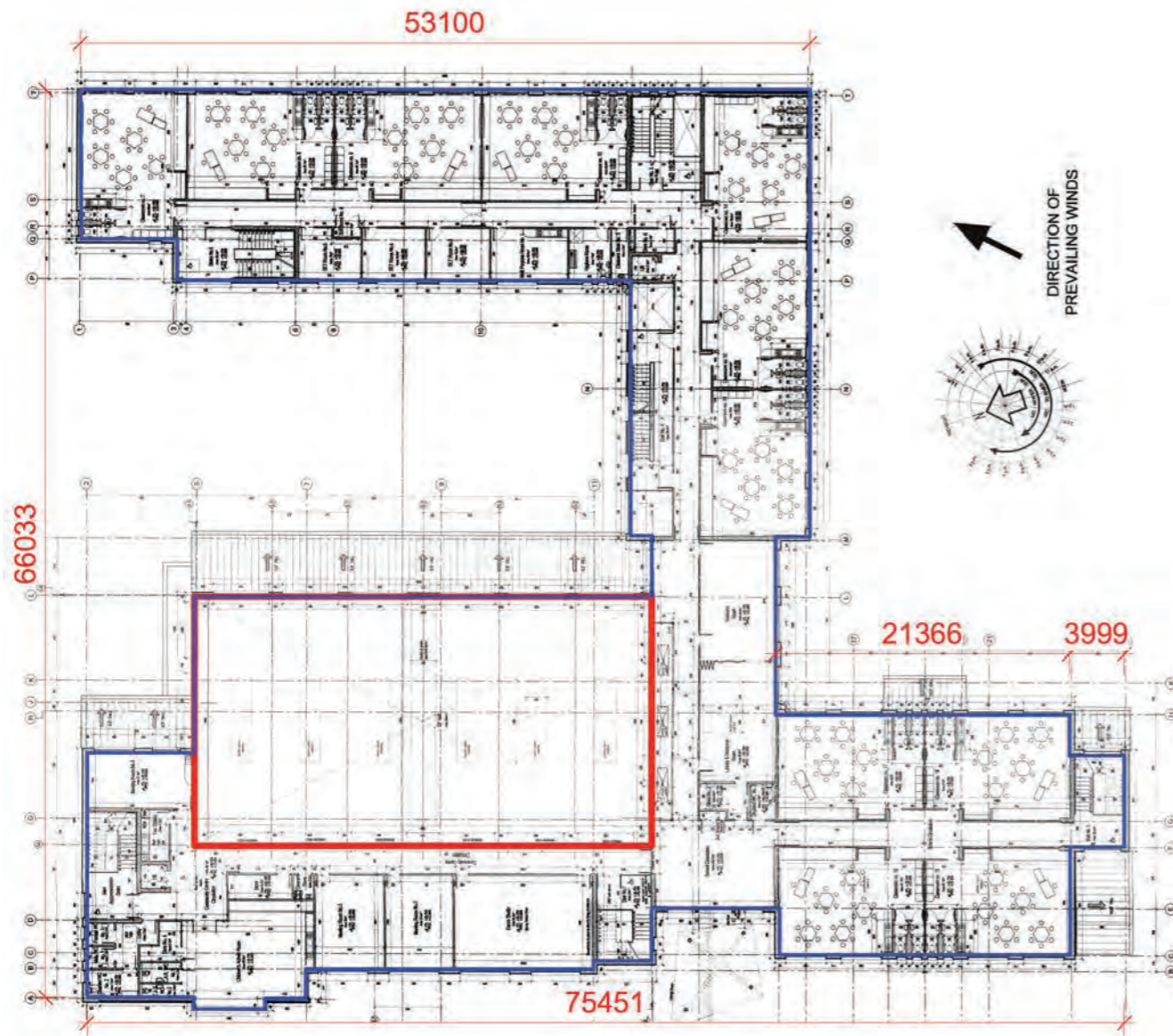
Failure to comply with the above may result in the tender being deemed null and void.

Important: Equipment of Consumer quality (light duty home use type equipment) is NOT SUITABLE for school use.

Planning and Building Unit, Department of Education and Skills, Fortbaise Road, Tullamore, Co. Offaly. Telephone: 057 9324300 Fax: 057 9324411

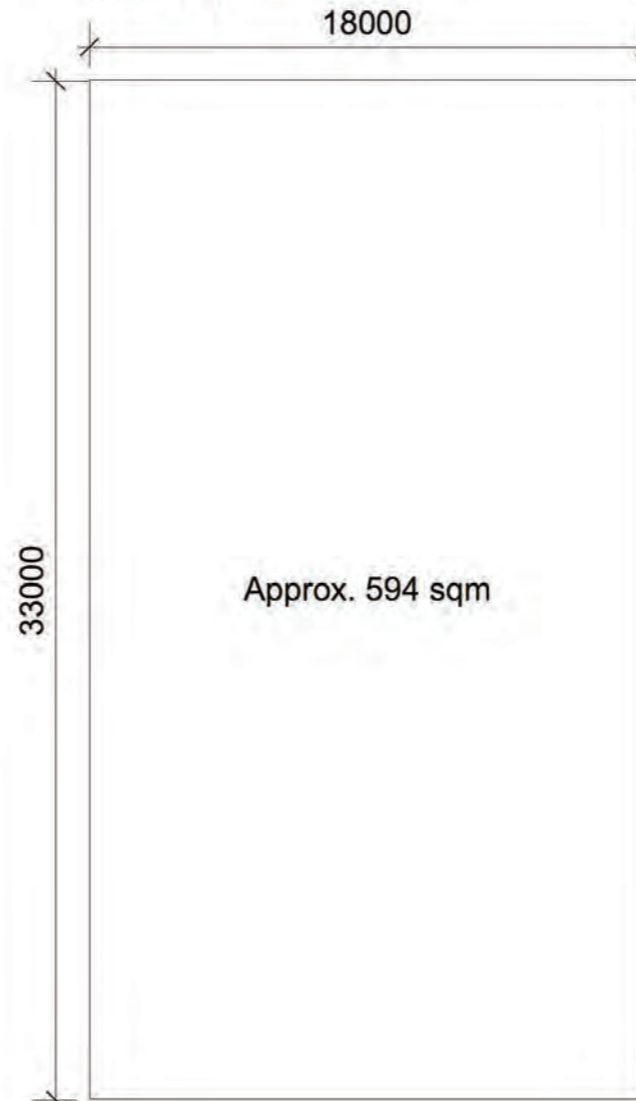


“Fingal Schools Model”
HOLYWELL COMMUNITY CENTRE
Total Area Approx. 2658 SQM

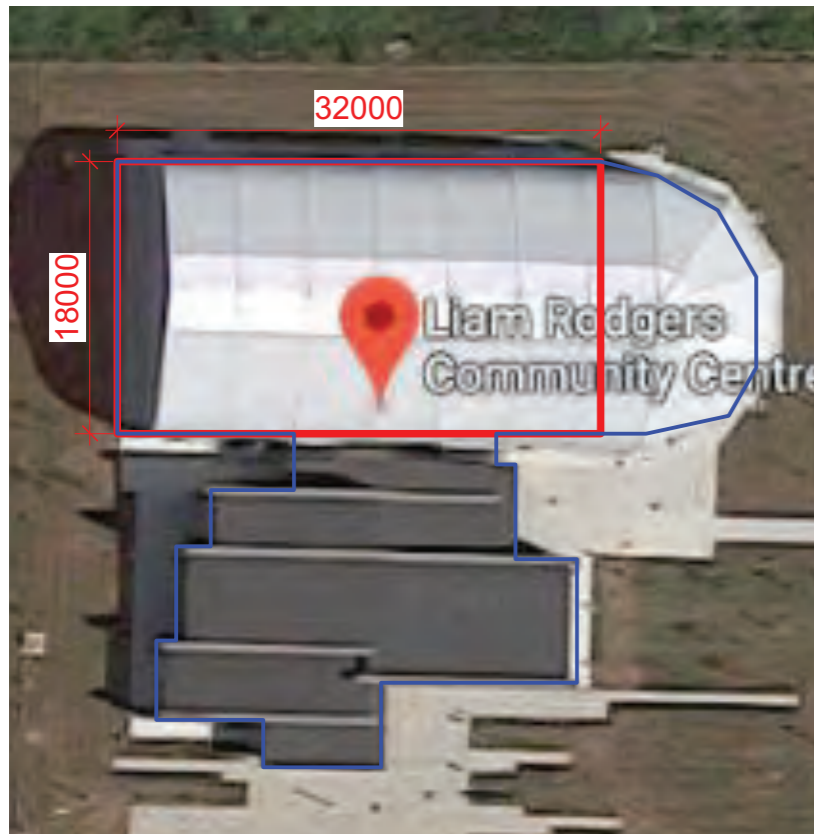


GROUND FLOOR PLAN

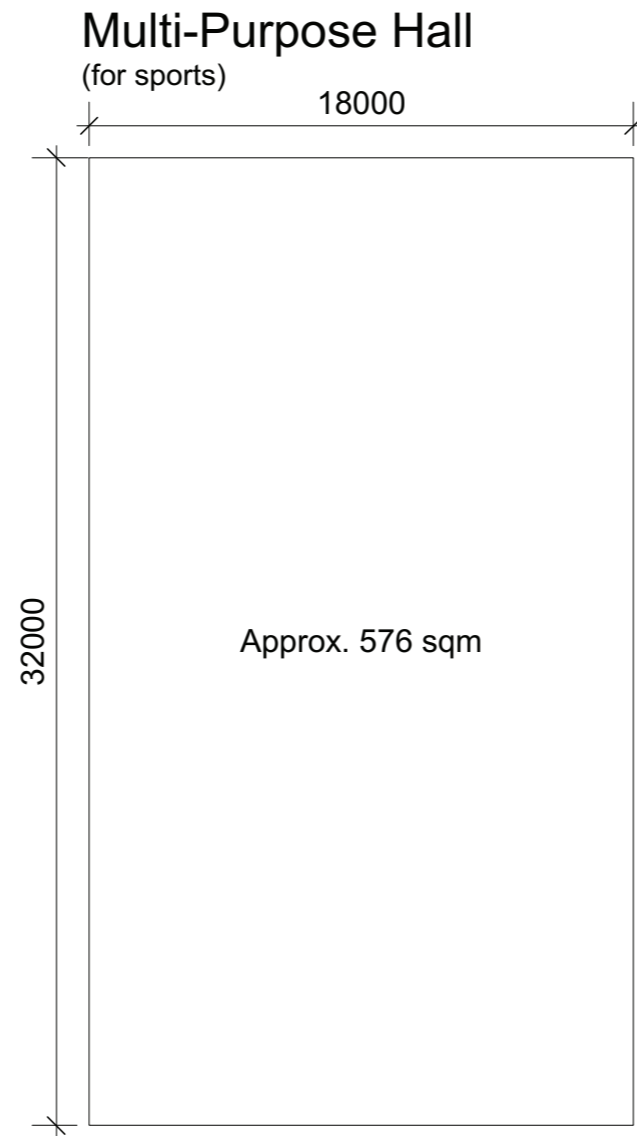
Multi-Purpose Hall
(for sports)



“Fingal Schools Model”
FINGAL LIAM RODGERS CENTRE
Total Area Assumed. 1155 SQM



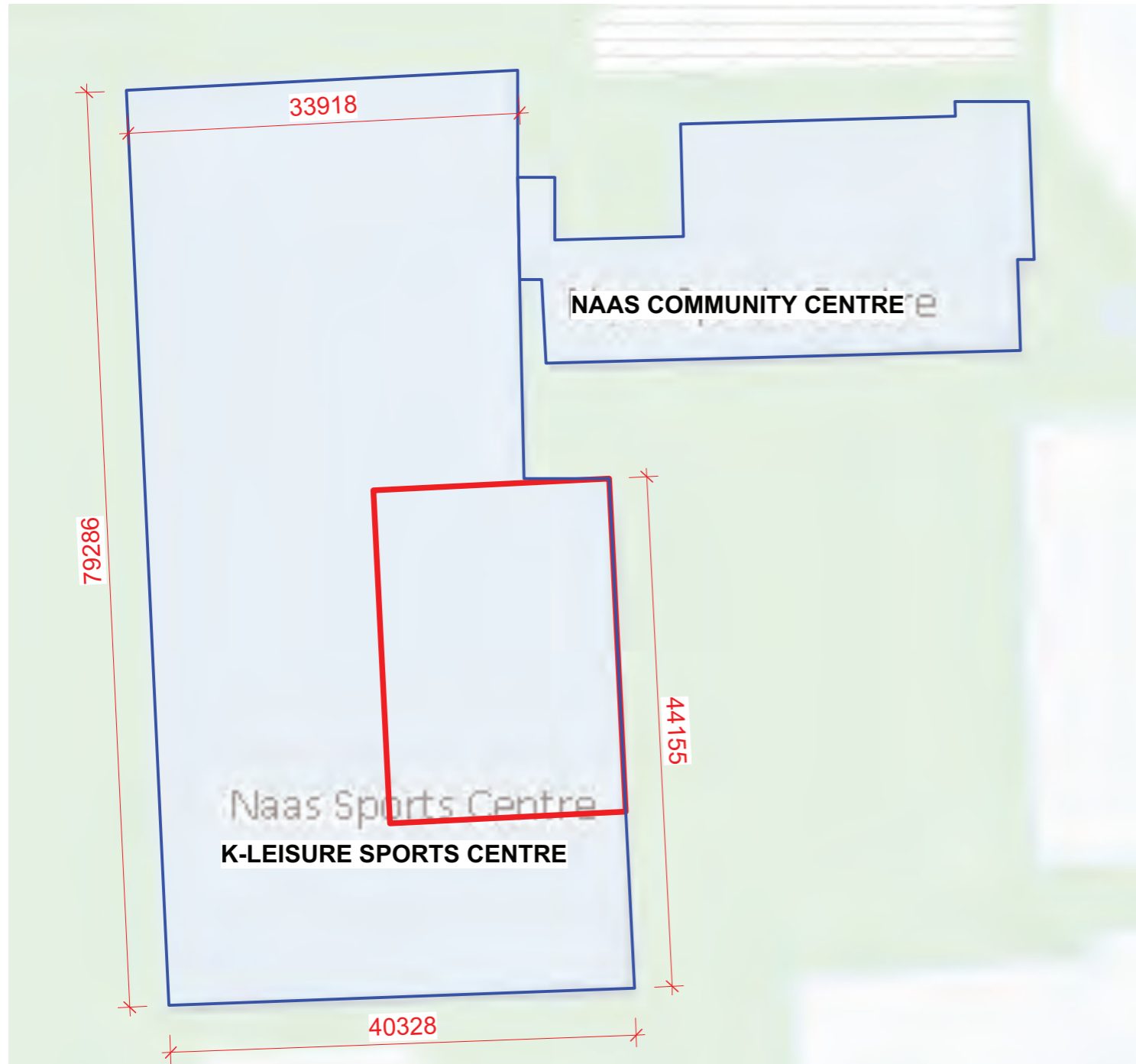
PLAN



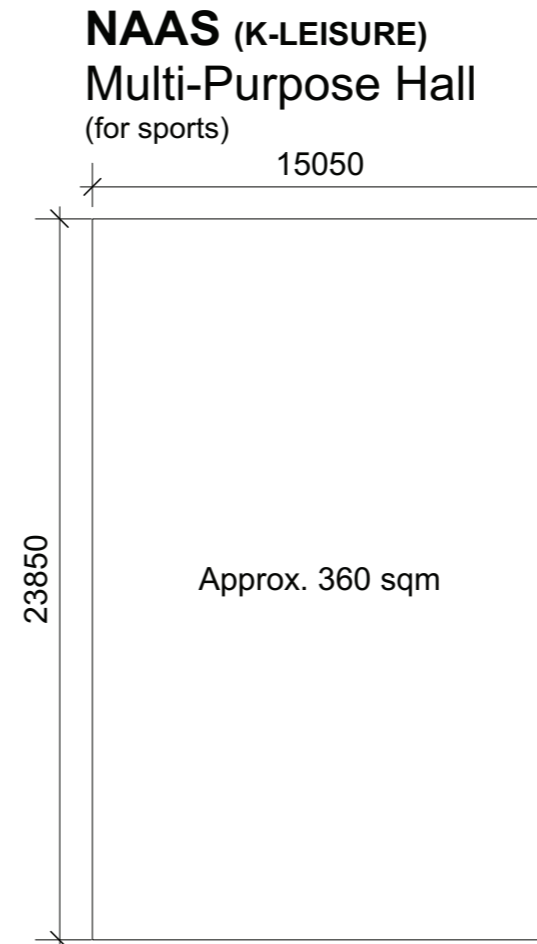
CooneyArchitects



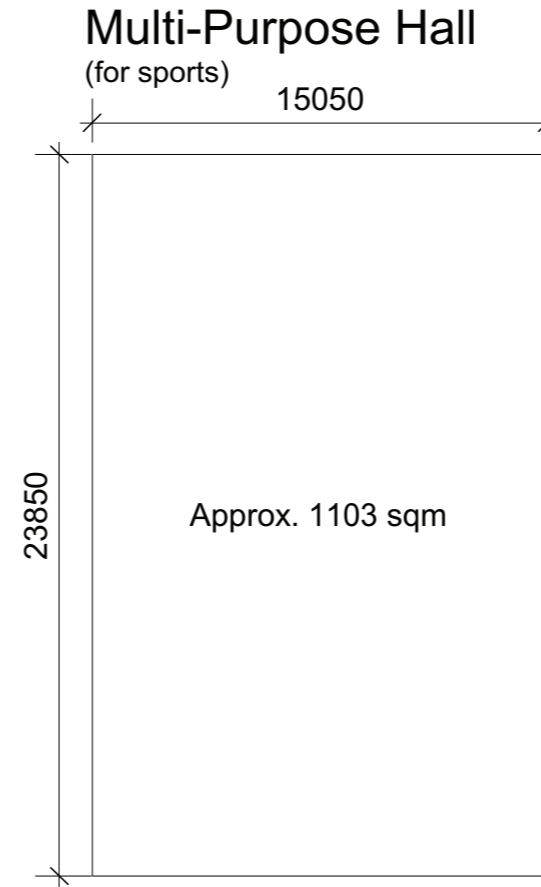
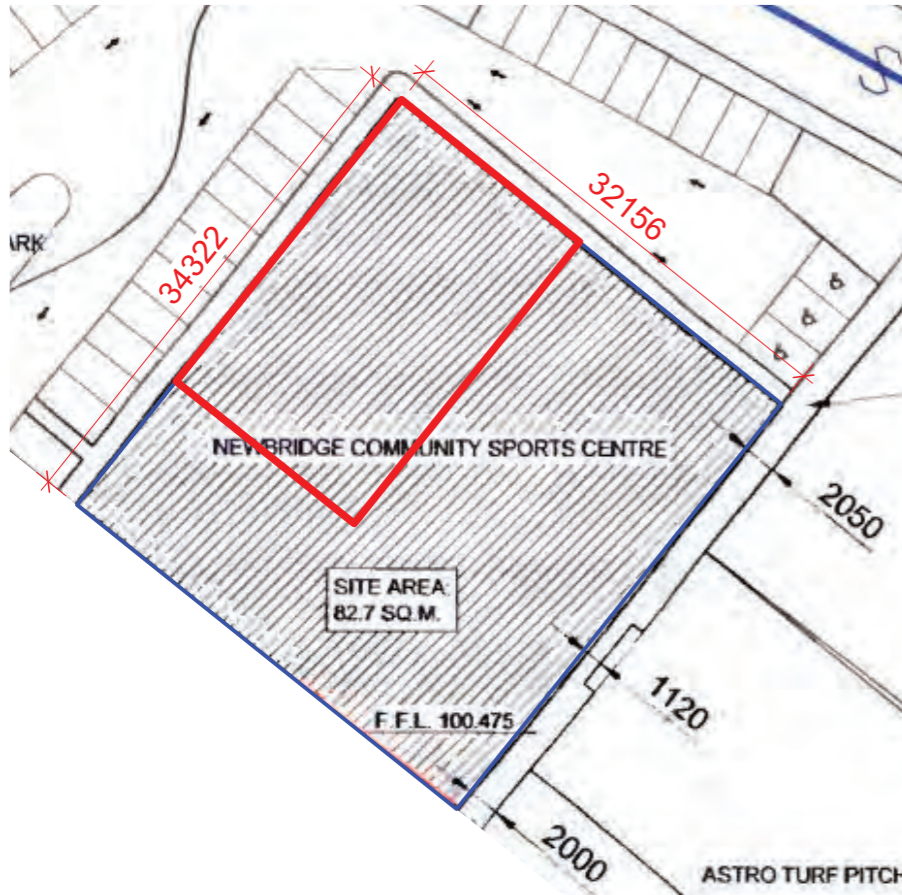
K-LEISURE SPORTS CENTRE NAAS
Total Area Assumed. 2956 SQM



PLAN



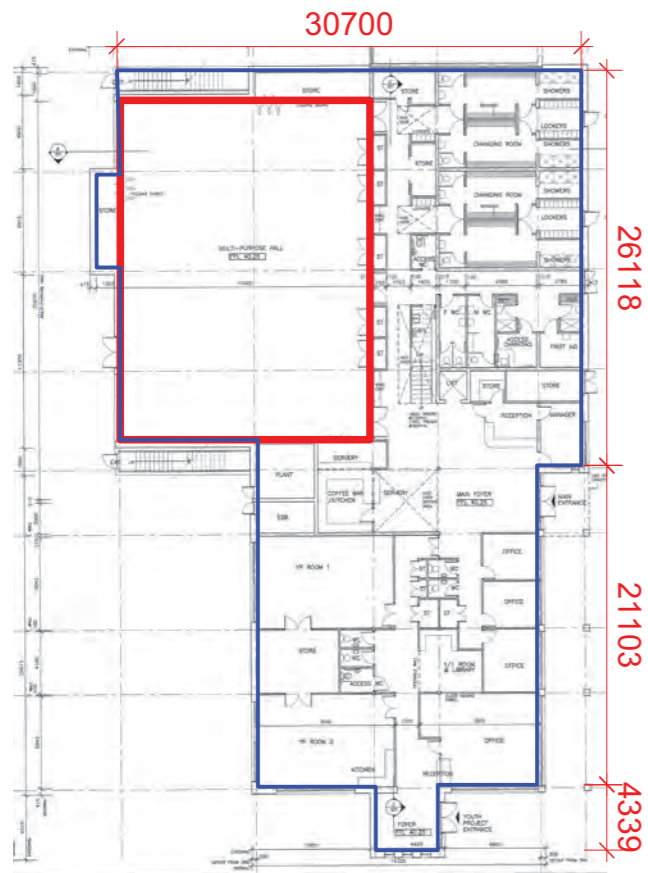
K LEISURE NEWBRIDGE
Total Area Assumed. 1103 SQM



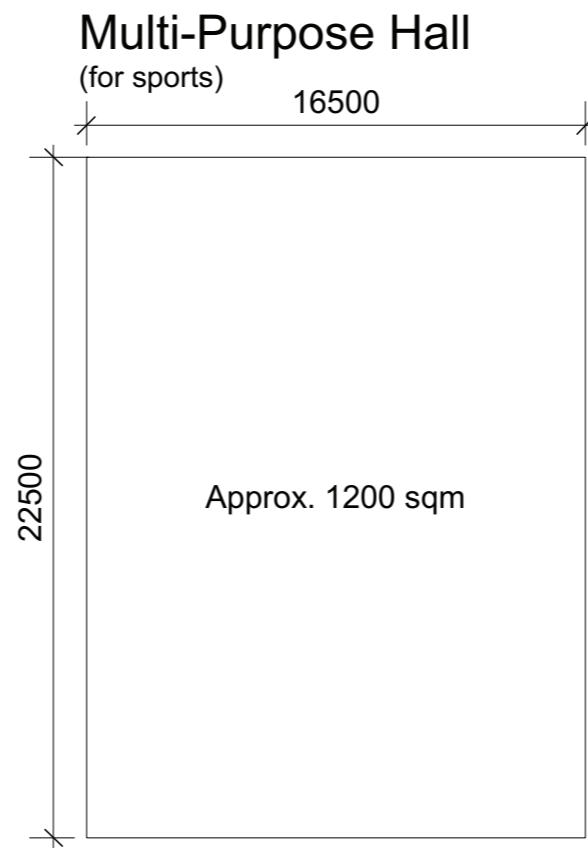
PLAN



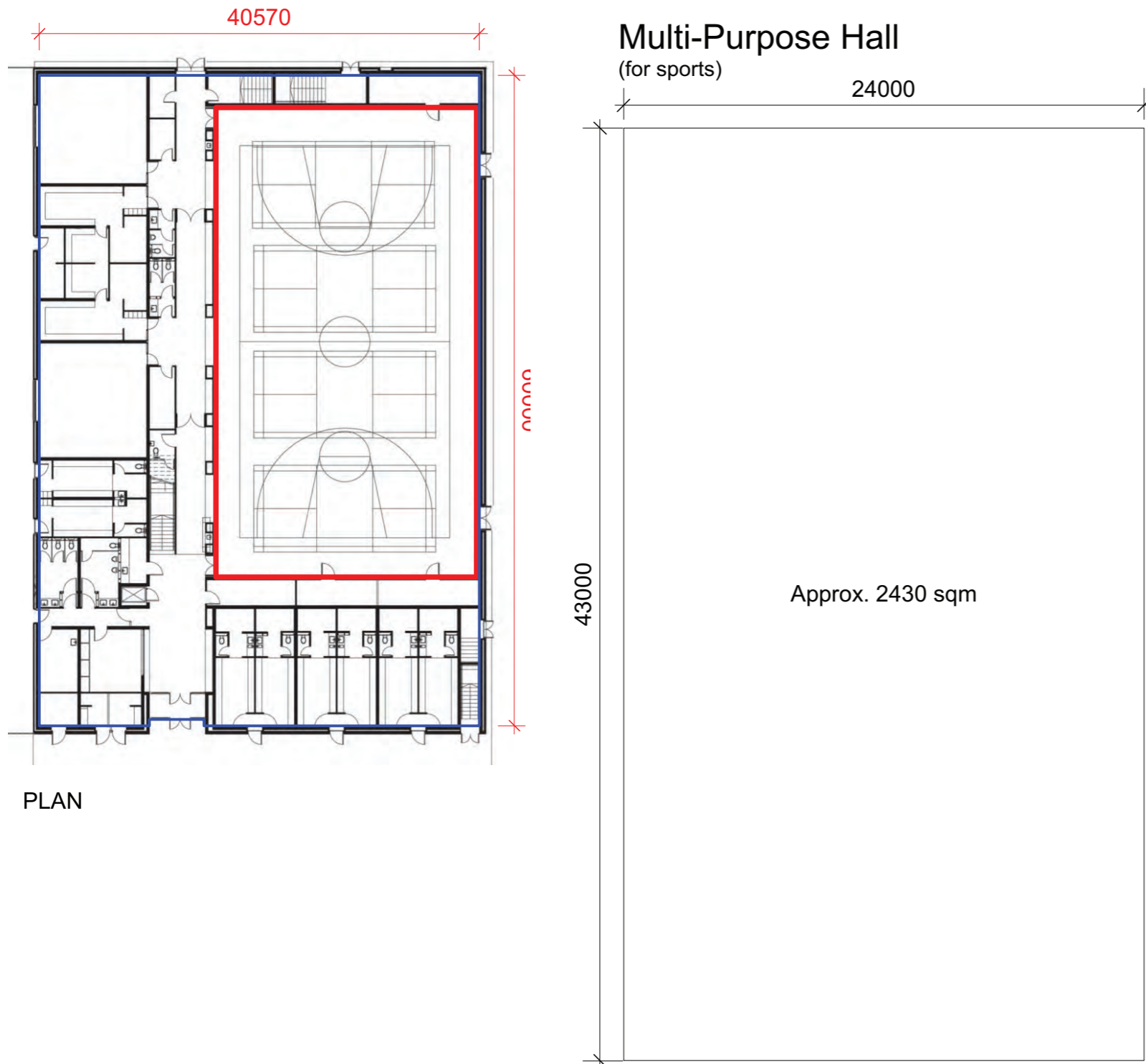
BLUEBELL
Total Area Approx. 1200 SQM



PLAN



CABRA COMMUNITY CENTRE
Total Area Approx. 2430 SQM

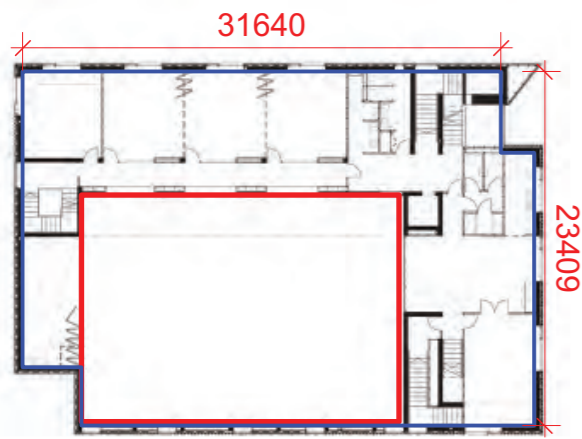


CooneyArchitects

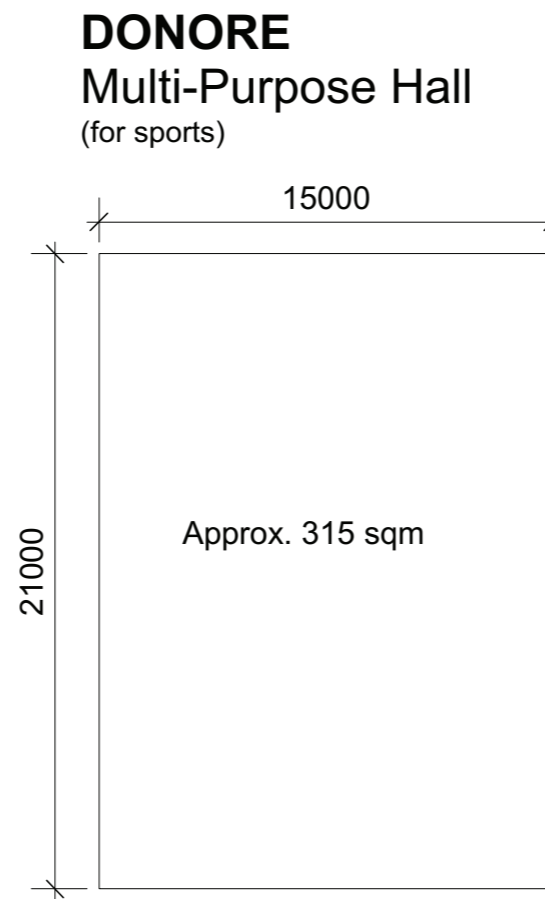
The Old Brewers Club,
32 The Coombe, Dublin 8, Ireland
T +353 (0) 1 4533 444



DONORE COMMUNITY CENTRE
Total Area Approx. 765 SQM



PLAN

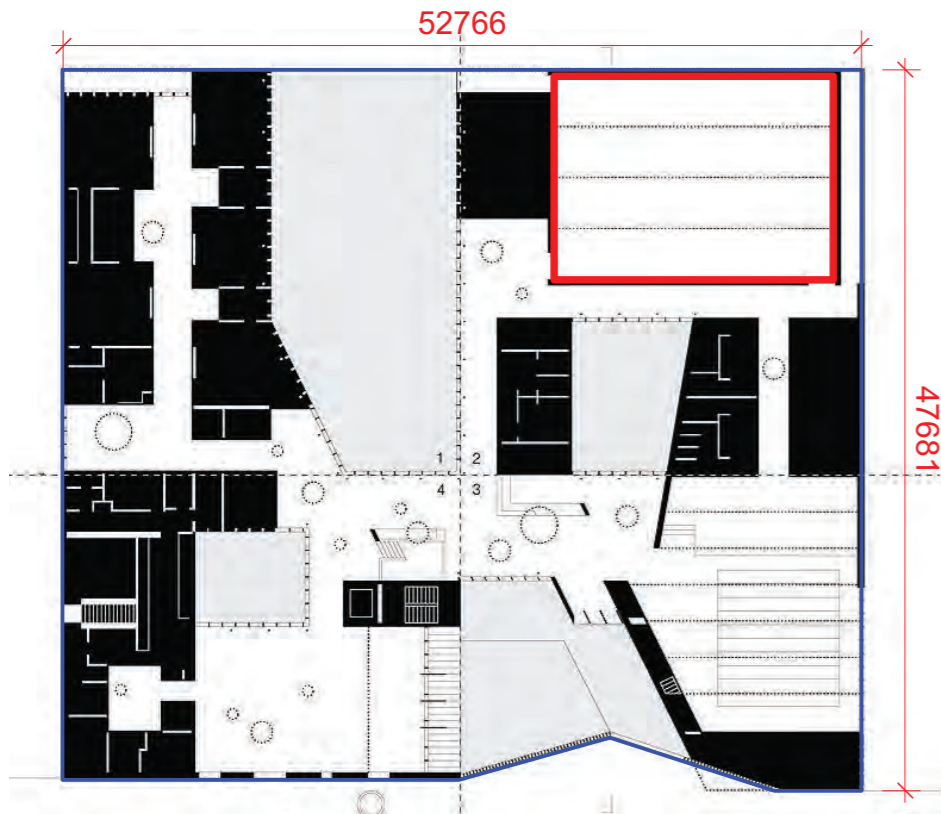


CooneyArchitects

The Old Brewers Club,
32 The Coombe, Dublin 8, Ireland
T +353 (0) 1 4533 444

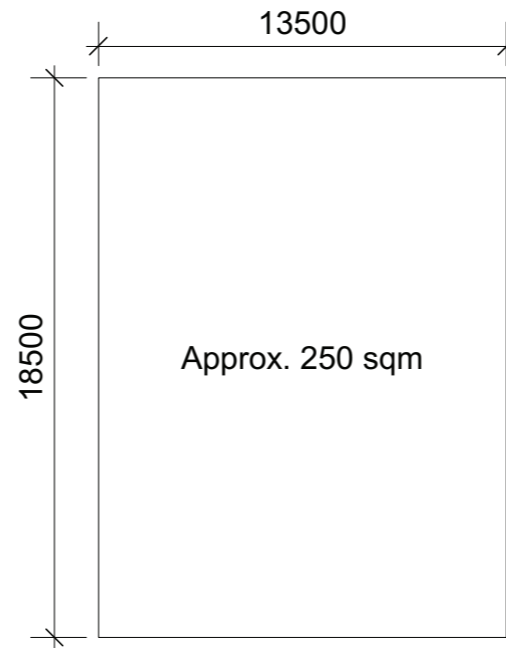


SEAN O'CASEY COMMUNITY CENTRE
Total Area Approx. 2460 SQM



PLAN

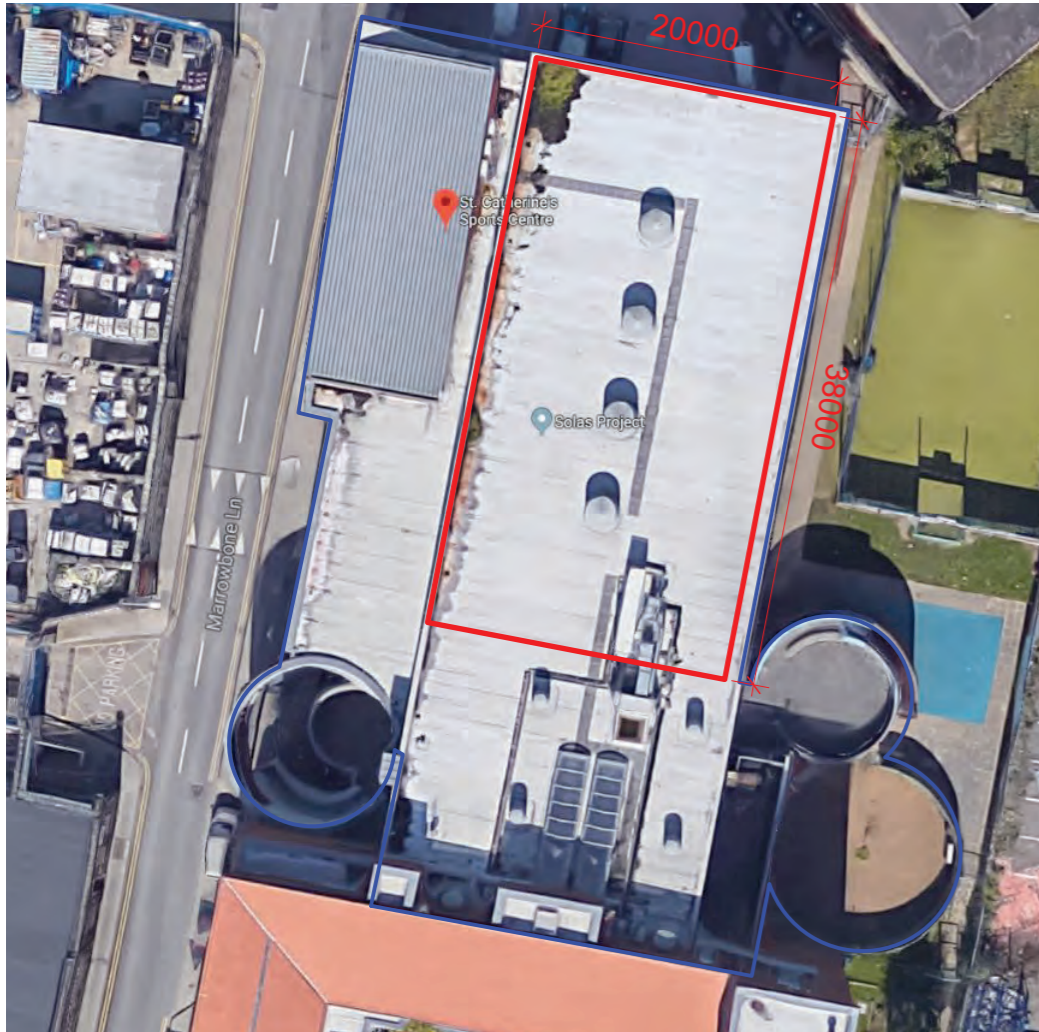
SEAN O'CASEY
Multi-Purpose Hall
(for sports)



CooneyArchitects

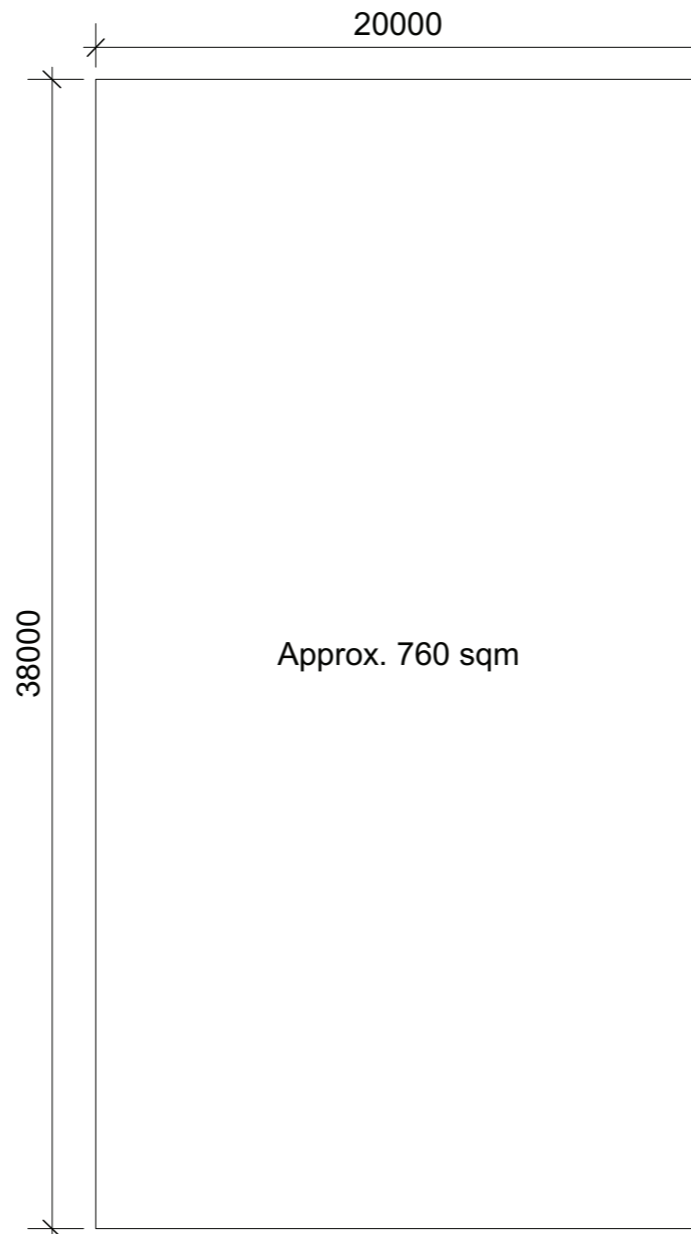


ST.CATHERINE COMMUNITY CENTRE
Total Area Approx. 2040 SQM



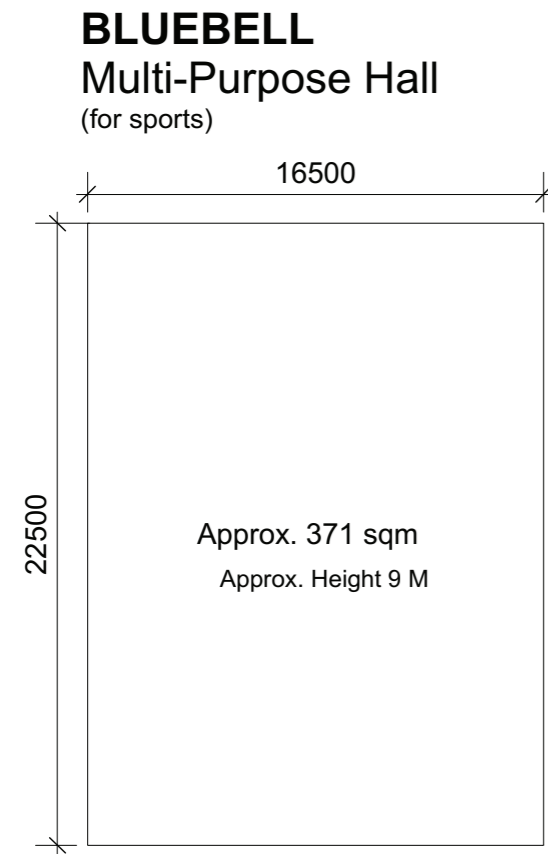
PLAN

ST. CATHERINE
Multi-Purpose Hall
(for sports)



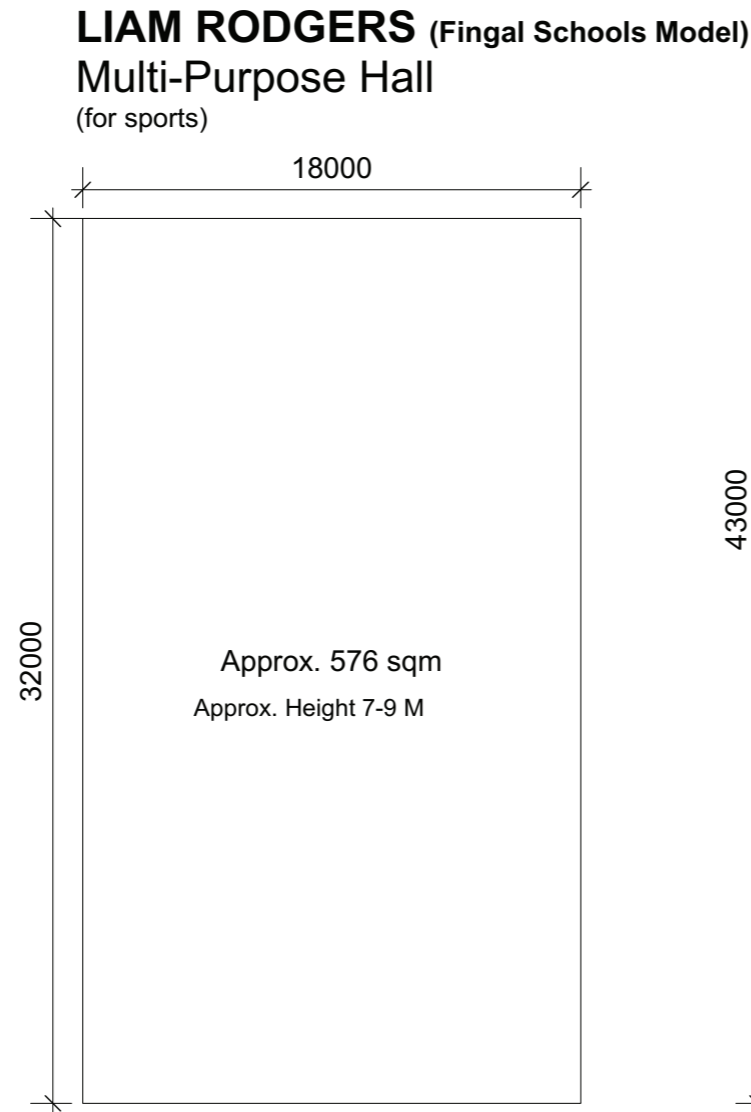
CooneyArchitects

HALL ANALYSIS



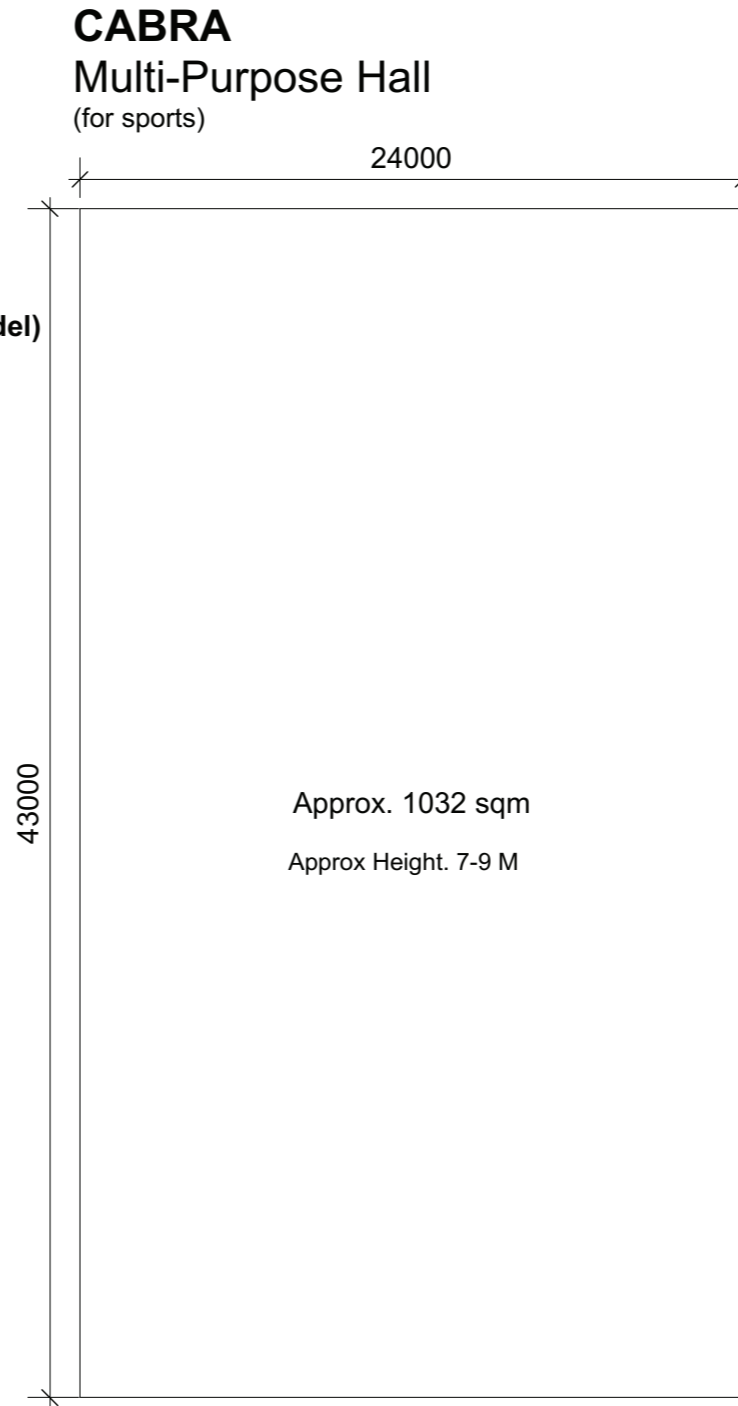
List Of Use: (Outlined on website)

- Badminton
- Basketball
- Five-a-side Football
- Gymnastics
- Etc.



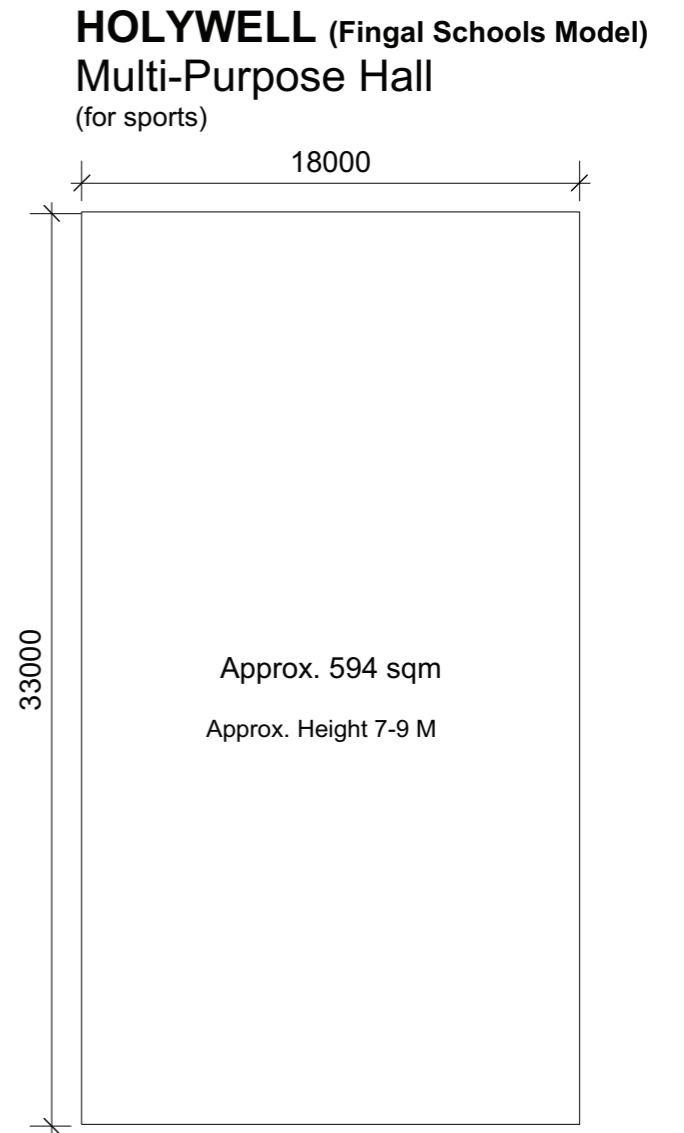
List Of Use: (Outlined on website)

- Badminton
- Basketball
- Five-a-side Football
- Volleyball
- Tennis
- Etc.



List Of Use: (Outlined on website)

- Badminton
- Basketball
- Boxing
- Fencing
- Five-a-side Football
- Gymnastics
- Bowls
- Etc.

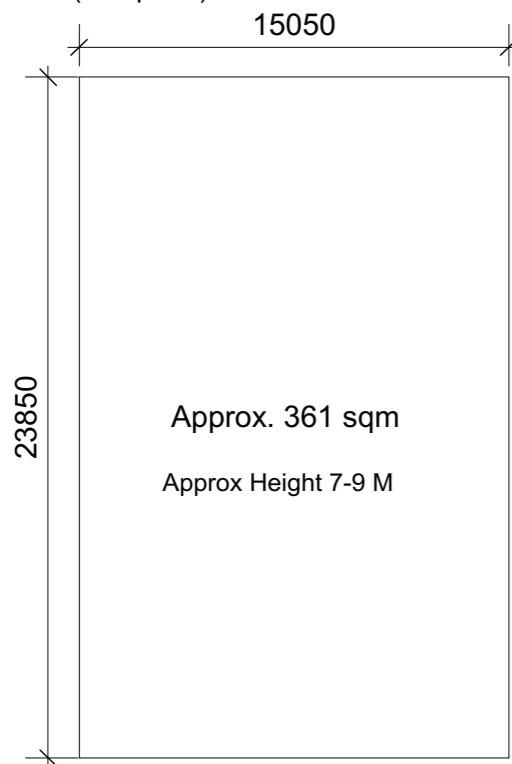


List Of Use: (Outlined on website)

- Badminton
- Basketball
- Five-a-side Football
- Volleyball
- Karate
- Judo
- Yoga
- Zumba
- Cardio Fitness
- Etc.

HALL ANALYSIS

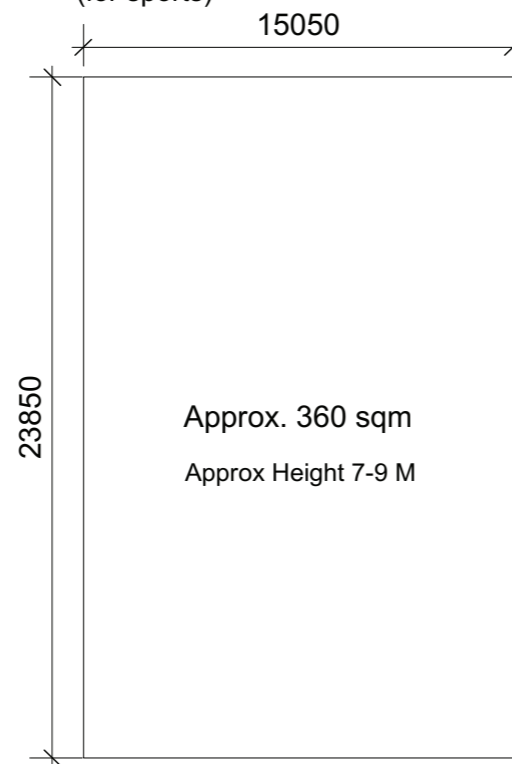
NEWBRIDGE (K-LEISURE)
Multi-Purpose Hall
(for sports)



List Of Use: (outlined On Website)

- Badminton
- Basketball
- Five-a-side Football
- Kids Party
- Etc.

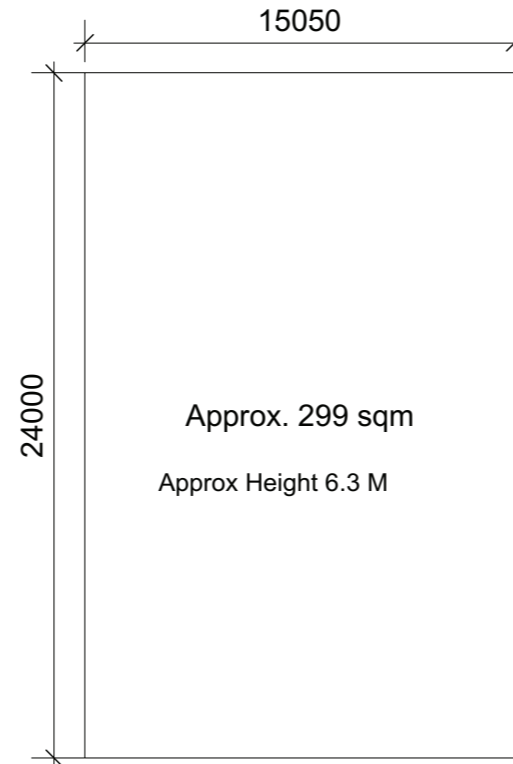
NAAS (K-LEISURE)
Multi-Purpose Hall
(for sports)



List Of Use: Outlined On Website)

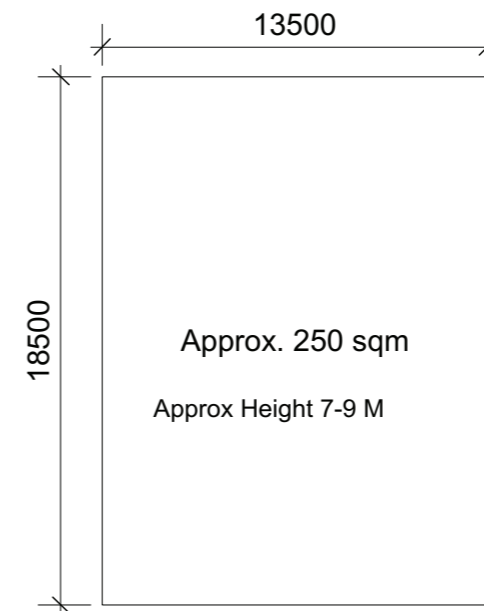
- Badminton
- Basketball
- Gymnastics
- Volleyball
- Indoor Soccer
- Etc.

MONREAD (K-LEISURE)
Multi-Purpose Hall
(for sports)



People Can't Play Basketball
In This Hall

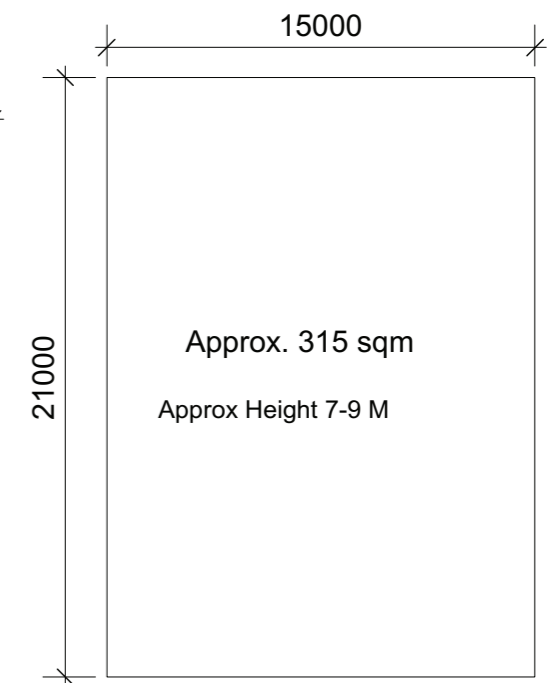
SEAN O'CASEY
Multi-Purpose Hall
(for sports)



List Of Use: Outlined On Website)

- Yoga
- Boxing
- Circuit training
- Dance
- Pottery
- Gym
- Etc.

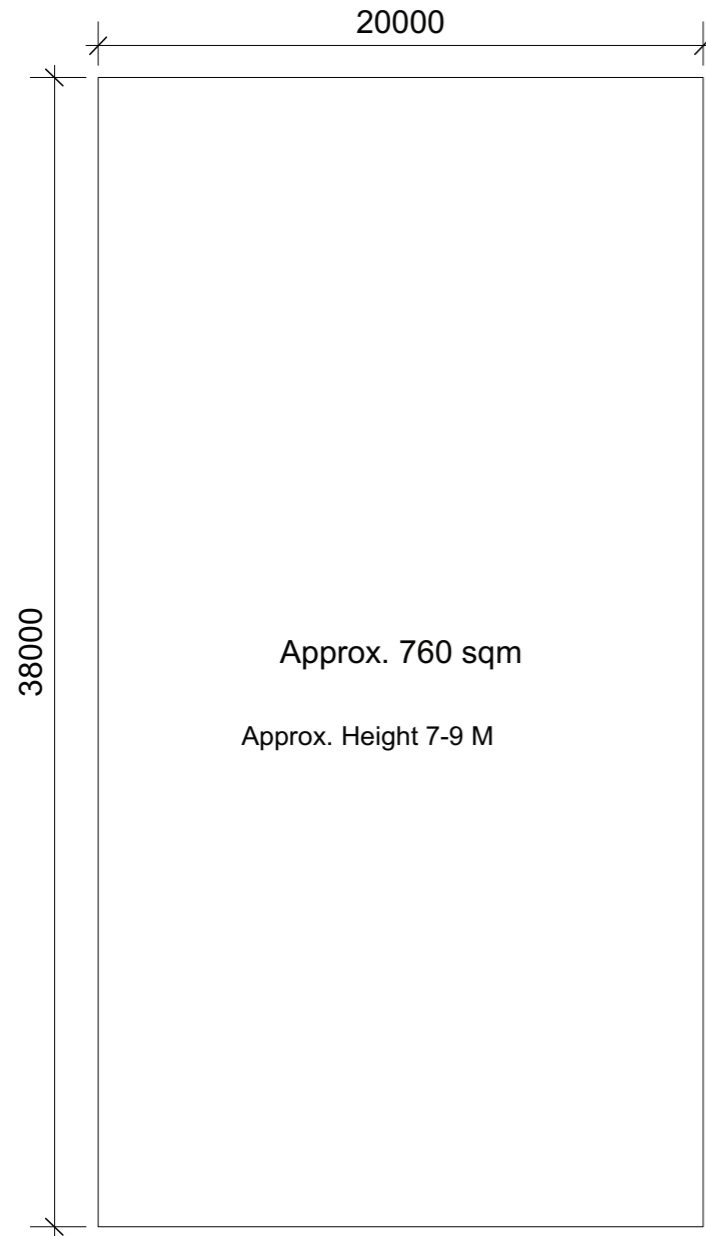
DONORE
Multi-Purpose Hall
(for sports)



List Of Use: Outlined On Website)

- Yoga
- Baby Nurse
- Circuit training
- Dance
- Capoeira
- Gym
- Etc.

ST. CATHERINE
Multi-Purpose Hall
 (for sports)



List Of Use: (outlined On Website)

- Soccer
- Basketball
- Badminton
- Martial Arts
- Boxing
- Irish Dancing
- Majorettes/Twirlers
- Pilates
- Variety Group
- Stage School
- Etc.